COATESVILLE VA MEDICAL CENTER

RENOVATE BUILDING 69

1400 Black Horse Hill, Coatesville, PA

VA PROJECT NUMBER: 542-CSI-203

ISSUED FOR BID

03/29/2013

OWNER

VA COATESVILLE

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COATESVILLE, PA, 19320
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PROJECT MANAGEMENT

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ARCHITECT

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STRUCTURAL ENGINEER

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MEP/FP ENGINEER

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COVER SHEET LIST

Sheet Number	Sheet Name	11/05/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13	03/29/13
GC001	COVER SHEET	X	X	X	X	X	X	X
GI001	GENERAL INFORMATION		X	X	X	X	X	X
GI002	ARCHITECTURAL SITE PLAN	X	X	X	X	X	X	X
GI003	FIRST FLOOR LIFE SAFETY PLAN	X	X	X	X	X	X	X
GI004	FUNCTION PLAN	X	X					
GI005	EXISTING FLOOR PLAN	X	X					
GI006	EXISTING EXTERIOR ELEVATIONS	X	X					
GI007	EXISTING ROOF PLAN	X	X					
GI008	EXISTING WALL SECTIONS	X	X					

CIVIL SHEET LIST

Sheet Number	Sheet Name							
CS101	SITE PLAN			X	X	X	X	X
CS102	GRADING & UTILITY PLAN			X	X	X	X	X

STRUCTURAL SHEET LIST

Sheet Number	Sheet Name							
S001	GENERAL NOTES				X	X	X	X
S111	FIRST FLOOR PLAN	X	X	X	X	X	X	X
S112	ROOF FRAMING PLAN	X	X					
S121	ROOF FRAMING PLAN				X	X	X	X
S201	DETAILS				X	X	X	X
S202	DETAILS				X	X	X	X
S203	DETAILS				X	X	X	X
S204	PATIENT LIFT DETAILS				X	X	X	X

ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name	10/17/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13	03/29/13
AD110	FIRST FLOOR DEMOLITION PLAN	X	X	X	X	X	X	X
AID-121	BLDG. 58 FIRST FLOOR DEMOLITION PLAN		X					
AE002	FIRST FLOOR PHASING, ICRA AND ALTERNATES PLAN		X	X	X	X	X	X
AE111	FIRST FLOOR ARCHITECTURAL AND DIMENSION PLAN	X	X	X	X	X	X	X
AE112	FIRST FLOOR REFLECTED CEILING PLAN	X	X	X	X	X	X	X
AE113	FIRST FLOOR FINISH PLAN	X	X	X	X	X	X	X
AE114	FIRST FLOOR - FLOOR PATTERN PLAN		X	X	X	X	X	X
AE116	FIRST FLOOR EQUIPMENT PLAN	X	X					

ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name	10/17/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13	03/29/13
AE121	ROOF PLAN	X	X	X	X	X	X	X
AE201	BUILDING SECTIONS AND ELEVATIONS	X	X	X	X	X	X	X
AE301	ENLARGED ELEVATIONS - THERAPY POOL			X	X	X	X	X
AE311	WALL SECTIONS		X	X	X	X	X	X
AE400	FIRST FLOOR ENLARGED PLAN - ADMINISTRATION		X	X	X	X	X	X
AE401	FIRST FLOOR ENLARGED PLAN - PROSTHETICS AND OCCUPATIONAL THERAPY CLINIC		X	X	X	X	X	X
AE402	FIRST FLOOR ENLARGED PLAN - MENTAL HEALTH OCCUPATIONAL THERAPY CLINIC		X	X	X	X	X	X
AE403	FIRST FLOOR ENLARGED PLAN - PHYSICAL AND KINESIOTHERAPY CLINICS		X	X	X	X	X	X
AE404	FIRST FLOOR ENLARGED PLAN - AUDIOLOGY		X	X	X	X	X	X
AE405	FIRST FLOOR ENLARGED PLAN - WEIGHT TRAINING CLINIC		X	X	X	X	X	X
AE406	FIRST FLOOR ENLARGED PLAN - THERAPY POOL			X	X	X	X	X
AE408	FIRST FLOOR ENLARGED PLAN - TOILET ROOMS			X	X	X	X	X
AE601	EXTERIOR AND ROOF DETAILS		X	X	X	X	X	X
AE611	FRAMING DETAILS		X	X	X	X	X	X
AE612	INTERIOR DETAILS		X	X	X	X	X	X
AE613	SHOWER DETAILS			X	X	X	X	X
AE621	PARTITION TYPES		X	X	X	X	X	X
AE623	DOOR AND BORROWED LIGHT DETAILS		X	X	X	X	X	X
AE632	CASEWORK DETAILS		X	X	X	X	X	X
AE701	SCHEDULES - DOOR/BORROWED LIGHT		X	X	X	X	X	X
AE702	SCHEDULES - TOILET ACCESSORY						X	X
AE704	SCHEDULES		X	X	X	X	X	X
AE705	SIGNAGE STANDARDS		X	X	X	X	X	X
AI-121	BLDG. 58 FIRST FLOOR ARCHITECTURAL AND FINISH PLAN		X	X				
AI-124	BLDG. 58 FIRST FLOOR REFLECTED CEILING PLAN		X	X				

MECHANICAL SHEET LIST

Sheet Number	Sheet Name	10/17/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13	03/29/13
M001	MECHANICAL NOTES, ABBREVIATIONS, AND LEGENDS	X	X	X	X	X	X	X
MD.101	BASEMENT MECHANICAL DEMOLITION PLAN	X	X	X	X			
MD101	BASEMENT TUNNELS, CRAWL SPACE MECHANICAL DEMOLITION PLAN					X	X	X
MD111	1ST FLOOR MECHANICAL DEMOLITION PLAN	X	X	X	X	X	X	X
MH101	BASEMENT HYDRAULIC PLAN			X			X	X
MH111	1ST FLOOR HVAC PLAN	X	X	X	X	X	X	X
MP101	BASEMENT HYDRONIC PLAN				X	X	X	X
MP111	1ST FLOOR HYDRONIC PLAN				X	X	X	X
MH501	MECHANICAL DETAILS				X	X	X	X
MH502	MECHANICAL DETAILS				X	X	X	X
MH503	TEMPERATURE CONTROLS SCHEMATICS						X	X
MH601	MECHANICAL SCHEDULES			X		X	X	X
MH602	MECHANICAL SCHEDULES					X	X	X

PLUMBING SHEET LIST

Sheet Number	Sheet Name	10/17/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13	03/29/13
P001	PLUMBING NOTES, ABBREVIATIONS, AND LEGENDS	X	X	X	X	X	X	X
PD101	BASEMENT PLUMBING DEMOLITION PLAN	X	X	X	X	X	X	X
PD111	1ST FLOOR PLUMBING DEMOLITION PLAN - UNDER SLAB	X	X	X	X	X	X	X
PD112	1ST FLOOR PLUMBING DEMOLITION PLAN - ABOVE CEILING	X	X	X	X	X	X	X
PP.101	BASEMENT SANITARY PLAN			X	X			
PP101	BASEMENT PLUMBING PLAN					X	X	X
PP102	BASEMENT DOMESTIC WATER PLAN			X	X			
PP111	1ST FLOOR SANITARY PLAN	X	X	X	X	X	X	X
PP112	1ST FLOOR DOMESTIC WATER PLAN			X	X	X	X	X
PP113	ROOF STORM DRAINAGE PLAN						X	X
PP301	WASTE AND VENT ISOMETRIC			X	X	X	X	X
PP302	DOMESTIC WATER ISOMETRIC				X	X	X	X
PP501	PLUMBING DETAILS			X	X	X	X	X
PP601	PLUMBING SCHEDULES			X	X	X	X	X

FIRE PROTECTION SHEET LIST

Sheet Number	Sheet Name							
F101	BASEMENT FIRE SUPPRESSION PLANS					X	X	X
FD101	1ST FLOOR FIRE SUPPRESSION DEMOLITION PLAN					X	X	X
FX101	1ST FLOOR FIRE SUPPRESSION PLAN					X	X	X

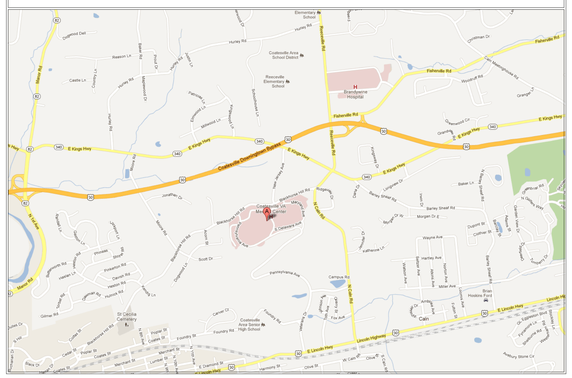
ELECTRICAL SHEET LIST

Sheet Number	Sheet Name							
E001	ELECTRICAL NOTES, ABBREVIATIONS, LEGENDS AND LIGHT FIXTURE SCHEDULE			X	X	X	X	X
ED101	BASEMENT ELECTRICAL AND LIGHTING DEMOLITION PLANS			X	X	X	X	X
ED102	1ST FLOOR ELECTRICAL DEMOLITION PLAN			X	X	X	X	X
ED103	1ST FLOOR LIGHTING DEMOLITION PLAN			X	X	X		
E101	BASEMENT POWER AND LIGHTING PLANS			X	X	X	X	X
E102	1ST FLOOR POWER AND TELECOMMUNICATIONS PLAN			X	X	X	X	X
E103	1ST FLOOR HVAC POWER PLAN			X	X	X	X	X
E104	1ST FLOOR LIGHTING PLAN			X	X	X	X	X
E105	1ST FLOOR ELECTRICAL SYSTEMS PLAN			X	X	X	X	X
E501	ELECTRICAL DETAILS			X	X	X	X	X
E601	ELECTRICAL SINGLE-LINE DIAGRAM	X	X		X	X	X	X
E602	EQUIPMENT CONDUCTOR SCHEDULE AND PANEL SCHEDULES			X	X	X	X	X
E603	ELECTRICAL PANEL SCHEDULES			X	X	X	X	X
E604	ELECTRICAL PANEL SCHEDULES			X	X	X	X	X
E-XX1	1ST FLOOR BKM/CSI COORDINATION HVAC POWER PLAN					X		
FA101	BASEMENT FIRE ALARM AND LIFE SAFETY PLAN, FIRE ALARM RISER AND LEGEND			X	X	X	X	X
FA102	1ST FLOOR FIRE ALARM AND LIFE SAFETY PLAN			X	X	X	X	X

AQUATIC SHEET LIST

Sheet Number	Sheet Name	10/17/12	12/05/12	12/12/12	12/21/12	01/22/13	02/05/13
SP-1	POOL LAYOUT AND SECTIONS					X	X
SP-2	POOL EQUIPMENT DETAILS					X	X
SP-3	POOL PIPING LAYOUT AND MECHANICAL ROOM DETAILS					X	X

LOCATION MAP



Approved by Patient Safety Manager:	Approved by Infection Preventionist:	Approved by Supervisor, Project Section:	Approved by Project Manager (COTR):	Approved by Supervision, BioMed / M&O:	Approved by Environ Health Fire / Safety Section:	Approved by Safety / Occupational Health Manager:	
Approved by VA Police Chief:	Approved by Patient Care Section:	Approved by General Properties Section:	Approved by General Utilities Section:	Approved by Medical Center Director:	Approved by Chief Engineer Service:	Approved by Chief, Acquisition Mgt Sect, Contracting Officer:	

NOTE: SEE SHEET AE-002
FOR DEDUCT ALTERNATES

FULLY SPRINKLERED
ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	12" = 1'-0"

Drawing Title: COVER SHEET

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: GC001

Dwg. 01 of 98

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

VA GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED DURING NORMAL BUSINESS HOURS OF 8:00 AM - 4:30 PM, EXCEPT SATURDAY, SUNDAY AND HOLIDAYS, UNLESS APPROVED IN ADVANCE BY THE CONTRACTING OFFICER.

2. THE CONTRACTOR MAY BE REQUIRED TO WORK OFF HOURS AND OVERTIME TO COMPLETE OR CONSTRUCT PORTIONS OF THIS WORK IN COMPLIANCE WITH THE CONTRACT STIPULATED TIME PERIOD OR AS DIRECTED BY THE CONTRACTING OFFICER AT NO ADDITIONAL COST TO THE GOVERNMENT.

3. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITIONS OF ALL OSHA REGULATIONS AND REQUIREMENTS AT THEIR OWN EXPENSE.

4. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ON SITE, THE LOCATIONS OF EXISTING UTILITIES, EXISTING CONDITIONS, FIELD MEASUREMENTS AND DIMENSIONS, AND QUANTITIES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, (DEPTH, DIRECTION, SIZE) OF ALL EXISTING UTILITIES IN THE VICINITY OF THE WORK AREA. THE CONTRACTOR SHALL REPAIR ANY UTILITY DISRUPTED, BROKEN, OR OTHERWISE RENDERED NON-FUNCTIONAL DUE TO THE WORK PERFORMED AT NO ADDITIONAL COST TO THE GOVERNMENT.

6. THE CONTRACTOR SHALL IDENTIFY ANY NON-FUNCTIONING UTILITY/SYSTEM, PRIOR TO THE START OF WORK TO THE CONTRACTING OFFICER. IDENTIFICATION OF SUCH AFTER THE START OF WORK SHALL BE DEEMED AS DISTURBED OR DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.

7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER SUPPORT OF ANY UTILITY ENCOUNTERED IN THE COURSE OF THIS WORK.

8. THE CONTRACTOR SHALL LEAVE THE WORK SITE CLEAN AND SECURED AT THE END OF EACH WORKING DAY. THE WORK SITE SHALL NOT BE LEFT UNATTENDED AT ANY TIME, UNLESS THE WORK AREA IS PROPERLY SECURED.

9. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORKSITE AND SHALL TAKE ALL ACTIONS TO ELIMINATE ANY SAFETY HAZARDS THAT MAY POSE A THREAT OF HARM TO PATIENTS, EMPLOYEES OF THE GOVERNMENT, AND EMPLOYEES OF THE CONTRACTOR OR OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE IMMEDIATE ACTION TO ALLEVIATE ANY SAFETY HAZARD THAT MAY EXIST WITHOUT DIRECTION FROM THE CONTRACTING OFFICER OR HIS DESIGNEE. THE CONTRACTOR SHALL ALSO TAKE IMMEDIATE CORRECTIVE ACTION TO ALLEVIATE ANY SAFETY HAZARD, CONDITION, ETC., WHEN INDICATED BY THE CONTRACTING OFFICER.

10. THERE SHALL BE NO CLAIMS AGAINST THE DEPARTMENT OF VETERANS AFFAIRS FOR WORK STOPPAGES DUE TO ACTS OF GOD, WEATHER CONDITIONS, STOP WORK ORDERS (VERBAL AND/OR WRITTEN), UNDERESTIMATION OF WORK, ESTIMATED QUANTITIES, MATERIALS, SUPPLIES, TOOLS, OR CORRECTION OF SAFETY PROBLEMS.

11. CONTRACTOR SHALL SAW CUT WITH A PROPER BLADE ANY CONCRETE WORK REQUIRED TO BE REMOVED IN THE COURSE OF THIS WORK. ALL HOLES SHALL BE CORED DRILLED WITH DIAMOND CORE BITS. THE USE OF JACK HAMMERS IS PROHIBITED.

12. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM THE MEDICAL CENTER DAILY AND DISPOSE OF SAME OFF THE PREMISES IN ACCORDANCE WITH PERTINENT REGULATIONS.

13. CONTRACTOR SHALL PROVIDE FOR THEIR OWN STORAGE SPACE AND SECURITY FOR SAME. CONTRACTOR IS PROHIBITED FROM USING VA SPACE FOR STORAGE.

14. CONTRACTOR SHALL BE RESPONSIBLE TO REROUTE ANY EXISTING UTILITY AS REQUIRED TO COORDINATE THE INSTALLATION OF NEW WORK IN THE COURSE OF THIS PROJECT. THE CONTRACTOR IS ADVISED THAT THE VETERANS ADMINISTRATION HAS ATTEMPTED TO IDENTIFY MAJOR UTILITIES TO BE REROUTED.

15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES.

16. CONTRACTOR SHALL INSTALL AND MAINTAIN DUST BARRIERS AS REQUIRED TO MAINTAIN INFECTION CONTROL AS INDICATED ON THE DRAWINGS.

17. PRIOR TO ANY WELDING, CUTTING, BRAZING, SOLDERING, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A HOT WORK PERMIT FROM THE DEPARTMENT OF VETERANS AFFAIRS FIRE DEPARTMENT.

18. THE CONTRACTOR SHALL MAINTAIN SECURITY FOR THE WORK AREA AND PROVIDE KEYS TO THE CONTRACTING OFFICER FOR ACCESS.

19. THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A NEAT AND CLEAN CONDITION. THE WORK SITE SHALL BE BROOM CLEANED AT THE END OF EACH WORKING DAY.

20. THE CONTRACTOR'S EMPLOYEES SHALL PARK IN APPROVED OR DESIGNATED PARKING SPACES ONLY.

21. ANY RIGGING REQUIRED SHALL BE PERFORMED BY PROFESSIONAL RIGGERS AT THE EXPENSE OF THE CONTRACTOR.

22. THE CONTRACTOR IS RESPONSIBLE FOR TESTING THE SOIL BEARING PRESSURE PRIOR TO CONSTRUCTION. RESULTS ARE TO BE PRESENTED TO THE ARCHITECT AND ENGINEERS.

CONTRACTOR GENERAL NOTES

1. DRAWINGS AND SPECIFICATIONS ARE ONLY TO DEPICT GRAPHICALLY THE GENERAL NATURE OF THE WORK AND SHOW THE GENERAL EXTENT OF THE PROJECT, AND DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS, NOR DO THEY SHOW ALL OF THE CONDITIONS WHICH MAY BE ENCOUNTERED TO PROPERLY EXECUTE THE WORK. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL WORK ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS FOR ALL WORK TO BE IN CONFORMANCE WITH AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK AND OCCUPANCY.

3. THE CONTRACTOR SHALL NOT RELY ON THE ARCHITECT SITE VISITS TO DISCOVER DEFECTS AND DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL DETERMINE THAT THE WORK IS BEING PERFORMED IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.

4. THE CONTRACTOR SHALL COMPLY WITH THE OWNER PROCEDURES / REQUIREMENTS FOR ELEVATOR USE, RUBBISH REMOVAL, LOADING DOCK, PROTECTION OF EXISTING CONSTRUCTION, AND ANY OTHER WORK WHICH WILL AFFECT OTHER TENANTS OR OTHER PARTS OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ELEVATOR AND/OR LOADING DOCK USE FOR DELIVERY OF MATERIALS WITH THE OWNER.

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED BUILDING AREAS CAUSED AS A RESULT OF WORK PERFORMED IN CONNECTION WITH THIS CONTRACT.

6. THE CONTRACTOR SHALL PROVIDE TEMPORARY "PATHS OF EGRESS" THROUGH THE AREAS OF THE WORK, SUCH PATHS SHALL BE PROVIDED BY THE CONTRACTOR WITH ADEQUATE ARTIFICIAL LIGHT, DIRECTION SIGNS, CLEARANCES, FIRE PROTECTION, ETC., AND SHALL BE CONSTRUCTED AND MAINTAINED SAFE FROM FIRE, SMOKE, AND OTHER PHYSICAL DANGERS.

7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, LIGHTS, AND OTHER WARNING DEVICES AT ALL DITCHES, OPEN EXCAVATION, AND OTHER AREAS OF POTENTIAL DANGER TO PERSONNEL OR PUBLIC. ALL ITEMS SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.

8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY STAIRS TO ALL LEVELS OF CONSTRUCTION UNTIL PERMANENT STAIRS ARE COMPLETED. ALL STAIRS SHALL BE MAINTAINED OPEN AND CLEAR AT ALL TIMES. THE STAIR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.

9. THE CONTRACTOR SHALL TURN THE WORK OVER IN CLEAN CONDITION INSIDE AND OUTSIDE. CLEANUP SHALL INCLUDE REMOVAL OF SMUDGES, MARKS, STAINS, FINGERPRINTS, SOIL, DIRT, PAINT, DUST, LINT, LABELS, DISCOLORATIONS AND OTHER FOREIGN MATERIALS. THE CONTRACTOR SHALL CLEAN ALL FINISHED SURFACES INSIDE AND OUTSIDE OF BUILDINGS, SUCH AS, BUT NOT LIMITED TO, FLOORS, WALLS, CEILINGS, WINDOW GLASS, DOORS, FIXTURES, HARDWARE AND EQUIPMENT; SHALL CLEAN ALL WORK ON THE SITE SUCH AS, BUT NOT LIMITED TO, WALKS, DRIVES, CURBS, PAVING, FENCES, GROUNDS, AND WALLS; SHALL REMOVE ALL TEMPORARY FACILITIES AND JOB SIGN, INCLUDING SURFACE MATERIALS FOR TEMPORARY ROADS AND WALKWAYS; SHALL REPAIR ALL AREAS DAMAGED DURING THE WORK. IT SHALL BE UNDERSTOOD BY THE CONTRACTOR THAT THE QUALITY OF CLEANING AND POLISHING REQUIRED FOR ACCEPTANCE OF EACH AREA SHALL BE IN ACCORD WITH THE INTENDED USE OF EACH AREA AND MAY BE IN EXCESS OF THE NORMAL PRACTICES OF THE CONSTRUCTION INDUSTRY.

10. THE CONTRACTOR SHALL PROVIDE LARGE VOLUME WASTE CONTAINERS ON THE SITE WITHIN THE CONSTRUCTION AREA. IN MUNICIPALITIES WHERE RECYCLING IS REQUIRED BY ORDINANCE, THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF CONTAINERS TO ALLOW SEPARATION OF MATERIAL. AT THE END OF EACH WORKING DAY ALL DEBRIS RESULTING FROM THE DAY'S WORK SHALL BE TRANSPORTED TO AND PLACED IN THE APPROPRIATE WASTE CONTAINERS.

11. THE CONTRACTOR SHALL PROVIDE FIRE PROTECTION AT EACH WASTE CONTAINER AS REQUIRED BY LOCAL AUTHORITIES.

12. THE PROTECTION OF THE PROPERTY UNDER THE CONTRACTOR'S CONTROL AT ALL TIMES IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM VANDALISM, THEFT AND OTHER DAMAGE. AND SHALL PROTECT THE OWNER'S PROPERTY AND ADJACENT PROPERTY FROM DAMAGE. ANY LOSS SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

13. THE CONTRACTOR SHALL INSTALL AND ACTIVATE FIRE LINES AND PERMANENT, OR TEMPORARY, FIRE HOSE CABINETS AND PROVIDE ADEQUATE FIRE EXTINGUISHERS THROUGHOUT THE LIMIT OF WORK PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL MAINTAIN SUCH EQUIPMENT IN WORKING ORDER THROUGHOUT CONSTRUCTION. THE TYPE, QUANTITY AND LOCATION OF THIS EQUIPMENT SHALL BE REASONABLY ADEQUATE TO SUIT THE CONDITIONS AND COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.

14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN IN A SAFE CONDITION ALL THOSE ITEMS REQUIRED FOR SUPPORTING OR CONTAINING ALL PERSONS INVOLVED IN THE WORK, OR INCIDENTAL TO ITS EXECUTION, INCLUDING INSPECTORS, SUPERVISORS, ARCHITECTS' REPRESENTATIVES, FIELD TESTING PERSONNEL, ETC. SUCH ITEMS SHALL INCLUDE LADDERS, CATWALKS, SAFETY RAILINGS, CAGES, SUSPENSION SCAFFOLDS, ETC. ALL ITEMS AND THEIR PROPER USE AND IMPLEMENTATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.

MATERIAL LEGEND

SECTIONS

- ACOUSTICAL TILE
- ALUMINUM (3/4 SCALE OR LARGER)
- BATT OR BLANKET INSULATION
- BRASS OR BRONZE (3/4 SCALE OR LARGER)
- CERAMIC OR QUARRY TILE
- CONCRETE
- CONCRETE MASONRY UNIT
- CRUSHED STONE OR GRAVEL
- EARTH
- E.I.F.S. (EXTERIOR INSULATION AND FINISH SYSTEM)
- FACE BRICK
- FINISHED WOOD (FOR LARGE SCALE DETAILS)
- FIRE SAFING
- MEDIUM DENSITY FIBERBOARD
- PLASTER, CEMENT, MORTAR OR G.W.B.
- PLYWOOD VENEER
- PRE-CAST CONCRETE
- RIGID INSULATION
- ROUGH WOOD (ALL BLOCKING AND FRAMING LUMBER)
- SHIM
- SPRAY-ON FIREPROOFING
- STEEL (3/4 SCALE OR LARGER)
- STONE: GRANITE OR MARBLE

ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

ARCHITECTURAL GENERAL NOTES

1. PROJECT MANUAL, DRAWINGS AND ADDITIONAL OWNER PROVIDED INFORMATION DESCRIBE THE EXTENT OF THE WORK. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. ANY WORK EXHIBITED IN EITHER OF THEM WHETHER IN THE OTHER OR NOT, IS TO BE EXECUTED AS PART OF THE WORK. WHERE ITEMS OF MATERIAL, EQUIPMENT AND LABOR ARE REFERRED TO IN THE SINGULAR, SUCH ITEM OR ITEMS SHALL BE PROVIDED IN THE NUMBER NECESSARY FOR THE PROPER COMPLETION OF THE WORK. THE DRAWINGS ARE A GRAPHIC REPRESENTATION OF THE SCOPE, LOCATION AND ARRANGEMENT OF MATERIALS AND EQUIPMENT SHOWING THE EXECUTION OF THE WORK. THE INTENT OF THE SPECIFICATIONS IS TO OUTLINE OR INDICATE THE ITEMS OF WORK, OR OTHER, WHICH CANNOT READILY BE SHOWN ON THE DRAWINGS, AND FURTHER TO INDICATE THE TYPES AND QUALITIES OF MATERIALS AND WORKMANSHIP. SHOULD THE SPECIFICATIONS AND DRAWINGS DISAGREE IN THEMSELVES, OR WITH EACH OTHER, WRITTEN CLARIFICATIONS SHOULD BE REQUESTED OF THE ARCHITECT BY THE CONTRACTOR.

2. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE THE WORK. ALL THE WORK SHALL BE INSTALLED WITH QUALITY WORKMANSHIP IN ACCORDANCE WITH INDUSTRY STANDARDS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

3. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE CODE AND ALL APPLICABLE COUNTY, CITY, STATE, FEDERAL LAWS AND REGULATIONS. NO WORK SHALL BE INSTALLED IN VIOLATION OF ANY CODES; ANY WORK SHOWN ON THE DRAWINGS WHICH IS IN VIOLATION OF SUCH CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE RESOLVED PRIOR TO THE INSTALLATION OF THE WORK INVOLVED.

4. ANY UTILITY SHUT-OFFS REQUIRED BY CONTRACTORS FOR THE COMPLETION OF THEIR WORK SUCH AS ELECTRICAL, GAS, WATER, SEWER, STEAM, SPRINKLER, ETC., MUST BE INDICATED ON THE PROJECT SCHEDULE, REVIEWED AT THE PROJECT MEETING AND COORDINATED WITH THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.

5. THE CONTRACTOR SHALL PROVIDE CHASES TO CONCEAL MECHANICAL, PLUMBING, AND ELECTRICAL WORK. PIPING LOCATED INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN STAIRWAYS, EQUIPMENT ROOMS, AND MECHANICAL ROOMS. THE CONTRACTOR SHALL COORDINATE WITH THE OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO LOCATING AND/OR PROVIDING "FURRED SPACES" NOT INDICATED ON THE DRAWINGS.

7. EACH CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SEQUENCE OF THEIR WORK WITH THAT OF ALL OTHER TRADES ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, AND SHALL BE RESOLVED PRIOR TO THE INSTALLATION OF THE WORK INVOLVED.

8. EACH CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS FOR THE PROPER STORAGE OF BUILDING MATERIALS ON THE SITE TO AVOID OVERLOADING THE FLOOR OR IMPEDING WITH COMPLETION OF THE WORK. MATERIALS ARE TO BE PROPERLY DISPERSED OVER BEAMS BETWEEN COLUMNS.

9. WHERE NEW WORK CONNECTS WITH EXISTING, THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, FITTING, AND PATCHING. CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS TO EXECUTE WORK.

10. ALL MATERIALS AND METHODS OF INSTALLATION SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

ARCHITECTURAL FLOOR PLAN GENERAL NOTES

1. DO NOT SCALE DRAWINGS. DIMENSIONS IN LARGE SCALE PLANS, ELEVATIONS, AND DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

2. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO CENTERLINE OF COLUMNS TO FINISH FACE OF INTERIOR PARTITION, CONCRETE OR MASONRY INTERIOR WALLS AND TO EXTERIOR FACE OF EXTERIOR WALLS.

3. WHERE A ONE HOUR OR NON-RATED PARTITION IS SHOWN AS A CONTINUATION OF A TWO HOUR PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE GYPSUM BOARD SHALL BE ALIGNED. STUDS SHALL BE OFFSET AND AN ADDITIONAL LAYER OF GYPSUM BOARD SHALL BE PROVIDED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.

4. ALL WALL MOUNTED LAVATORIES SHALL BE MOUNTED TO ALLOW FOR 1'-3" MINIMUM BETWEEN THE CENTERLINE OF THE LAVATORY AND FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED. THERE IS AN ADDITIONAL REQUIREMENT TO PROVIDE A MINIMUM OF 4" BETWEEN SIDE OF LAVATORY AND FACE OF ADJACENT WALL, FIXED EQUIPMENT, CASEWORK, ETC.

5. ALL WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS 1'-6" BETWEEN FACE OF THE CLOSEST ADJACENT SIDE WALL OR TOILET PARTITION AND THE CENTERLINE OF THE WATER CLOSET. THE FLUSH VALVE FOR ALL WATER CLOSETS SHALL BE MOUNTED ON THE "OPEN-MOST" SIDE OF THE WATER CLOSET AT 44" MAXIMUM A.F.F. TO THE TOP.

6. DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF CASEWORK. REFER TO CASEWORK NOTES FOR ADDITIONAL INFORMATION.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR LATEXING AND TAPERING EXISTING CONCRETE FLOOR SLAB WHERE MATERIAL CHANGES OCCUR AND SHALL COORDINATE SAME WITH INSTALLER.

8. CONTRACTOR SHALL BUILD OUT PARTITIONS TO ACCOMMODATE DEPTH REQUIRED BY FIRE EXTINGUISHER CABINETS AND RECESSED POWER PANELS. COORDINATE WITH ENGINEERING DRAWINGS. FINAL LOCATIONS OF ALL CABINETS AND PANELS TO BE APPROVED BY ARCHITECT.

9. PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THRU METAL STUD PARTITIONS.

10. THE FLOOR SLAB SHALL BE SLOPED (2%) TO DRAIN. DO NOT INTERRUPT INTEGRITY OF FIRE RATING OF RAISED FLOOR SLAB.

SYMBOL LEGEND

ROOM INDICATION
ROOM NAME — ROOM NAME
101 — ROOM NUMBER

NORTH ARROW

SITE PLAN NORTH ARROW

DOOR SYMBOL
101

WINDOW SYMBOL
1 — WINDOW TYPE OR BORROWED LIGHT — 1
ON ELEVATION — IN PLAN

BUILDING WALL SECTION INDICATION
1 — SECTION NUMBER
A101 — SHEET WHERE SHOWN

ELEVATION INDICATION
F2 / A201 — INTERIOR AND/OR EXTERIOR
A1 / A4 A201 A2 / A3 — MULTIPLE INTERIOR

FIRE EXTINGUISHER CABINET
F.E.C

DETAIL INDICATION
AREA DETAILED
1 / A101 — SIM — DETAIL NUMBER — SHEET WHERE SHOWN

REVISION INDICATION
1 — REVISION NUMBER

ALIGN WITH EXISTING CONSTRUCTION
A

PARTITION TYPE SYMBOL
PARTITION TYPE

EQUIPMENT DESIGNATION
(SEE EQUIPMENT MANUAL)
001 — EQUIPMENT TYPE

CEILING HEIGHT
10' 6" A.F.F.

FINISH SYMBOLS
ROOM FINISH TAG
RM # 101
NAME
CEILING: CEILING FINISH
WALL: WALL FINISH
FLOOR: FLOOR FINISH
BASE: BASE FINISH

CG — DENOTES CORNER GUARD LOCATION

LINETYPE SYMBOLS
1 1 — EXISTING COLUMN GRID DENOTED WITH AN E/ PREFIX
A A — COLUMN GRID
LIMIT OF WORK
PROPERTY LINE
CENTER LINE / ELEVATION LINE
WORK ABOVE, BEYOND OR TO BE REMOVED
BUMPER GUARD, CHAIR RAIL, HAND RAIL FOR LOCATION SEE PLANS
BREAK LINE

MATCHLINE
AREA A / A102 — INDICATOR OF AREA SHOWN ON DRAWING
SHEET NUMBER OF ADJACENT DRAWING

KEYNOTE SYMBOL
D2 — KEYNOTE INDICATOR

EXISTING DOOR DESIGNATION
EXISTING DOOR

NEW DOOR DESIGNATION
NEW DOOR

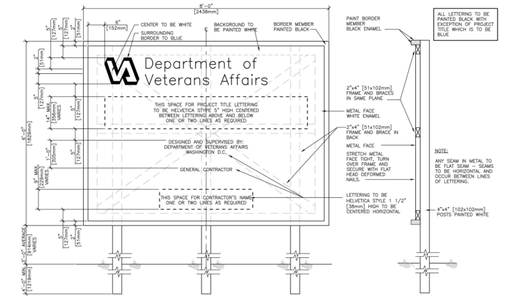
EMERGENCY DOOR DESIGNATION
NEW DOOR
EMERGENCY SWING

DOUBLE EGRESS DOOR DESIGNATION
NEW DOOR

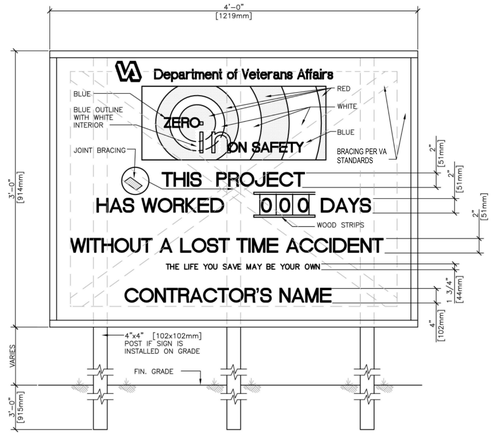
STARTING POINT
STARTING POINT

ELEVATION TAG
Name
Elevation

GENERAL DIMENSIONING
0'-0" — COLUMN GRID CENTERLINE INDICATOR
0'-0" — FACE OF SURFACE INDICATOR
NOTE: DIMENSIONS ARE TAKEN FROM/TO FINISH SURFACE, UNLESS OTHERWISE NOTED.
0'-0" ±
NOTE: THE ± INDICATES A DIMENSION THAT CAN VARY. (NOTIFY THE ARCHITECT OF ANY CHANGE IN THAT DIMENSION IF IT IS GREATER THAN 1")
0'-0" VIF
NOTE: EXISTING DIMENSIONS INDICATED AS [0'-0"] OR WITH (VIF) ARE SUPPLIED TO THE ARCHITECT BY OTHERS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. (SEE "GENERAL CONTRACTOR RESPONSIBILITIES WITH RESPECT TO EXISTING CONDITION NOTES")



F2 VA CONSTRUCTION SIGN
1/2" = 1'-0"



F4 VA SAFETY SIGN
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-8077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: GENERAL INFORMATION

Project Title: RENOVATE BUILDING 69

VA Project Number: 542-CSI-203

Building Number: 69

Approved: Project Director

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

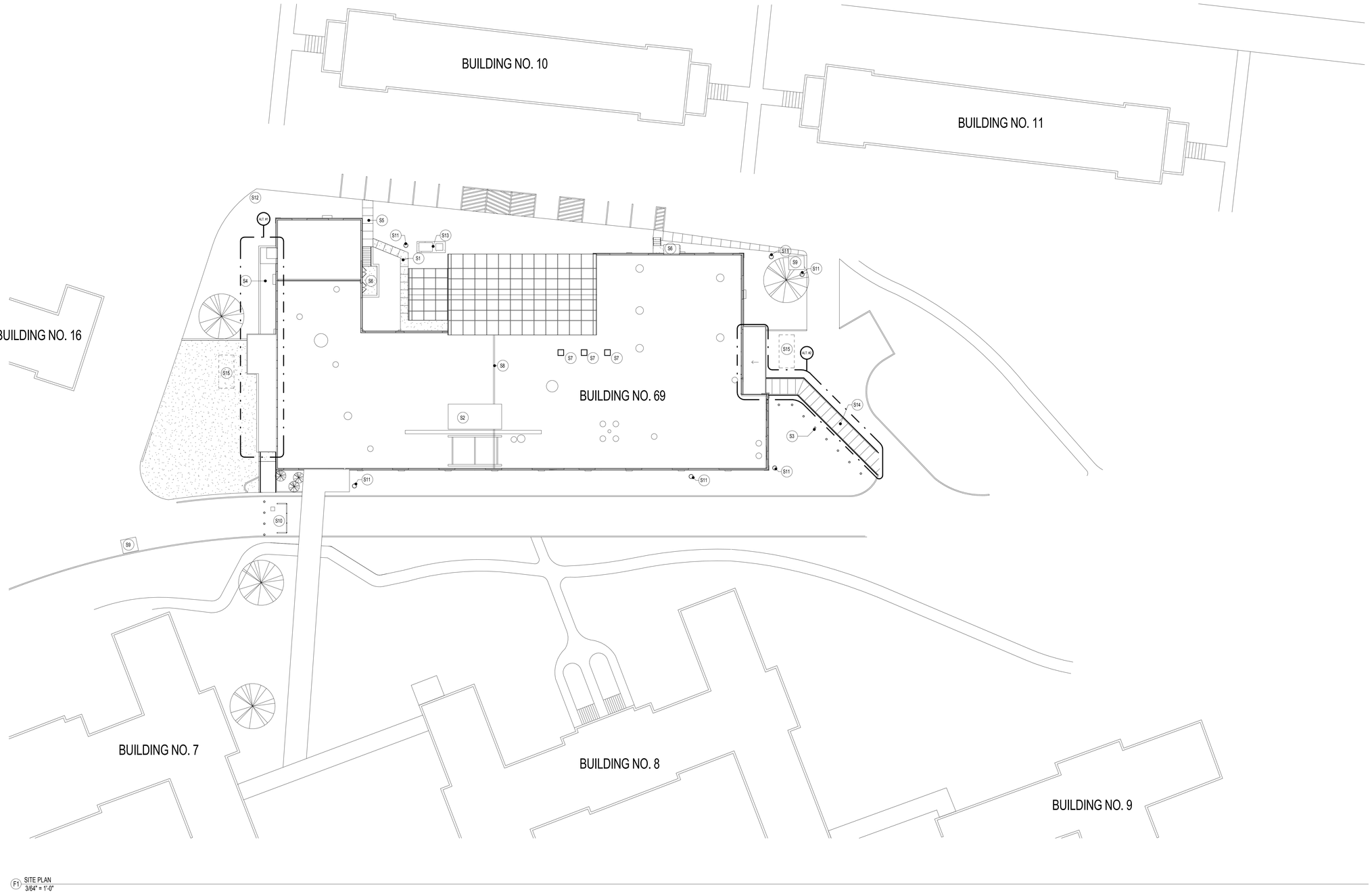
Drawing Number: GI001

Dwg. 02 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



F1 SITE PLAN
3/64" = 1'-0"

SITE PLAN KEYNOTES

- S1 NEW ACCESS WALK TO MECHANICAL PAD AND EQUIPMENT.
- S2 EXISTING DUNNAGE, TO REMAIN.
- S3 ALTERNATE: NEW ACCESS RAMP AND RETAINING WALL. WITH NEW METAL RAILING.
- S4 ALTERNATE: ACCESS RAMP TO BE RESLOPED TO NEW ENTRANCE DOOR. EXISTING RAILING TO REPLACED WITH NEW METAL RAILING.
- S5 EXISTING ACCESS WALK, TO REMAIN.
- S6 EXISTING STAIR, TO REMAIN.
- S7 NEW SKYLIGHT
- S8 EXISTING EXPANSION JOINT, TO REMAIN.
- S9 EXISTING DUMPSTER, TO REMAIN. THE CONTRACTOR IS NOT PERMITTED TO DISPOSE OF CONSTRUCTION WASTE IN THIS DUMPSTER.
- S10 EXISTING BUS STOP, TO REMAIN.
- S11 EXISTING ACCESS HATCH, TO REMAIN.
- S12 EXISTING FIRE PUMP, TO REMAIN.
- S13 EXISTING TRANSFORMER AND SLAB, TO REMAIN.
- S14 NEW CONCRETE ACCESS RAMP. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
- S15 CONTRACTOR TO PROVIDE AT LEAST TWO CONSTRUCTION DUMPSTERS, ON EAST AND WEST OF BUILDING FOR CONSTRUCTION WASTE. COORDINATE LOCATIONS WITH VA. DUMPSTER TO BE FENCED AND POSTED WITH APPROVED SIGNAGE.

SITE PLAN GENERAL NOTES

1. CONTRACTORS STAGING AREA AND TEMPORARY TOILETS TO BE DETERMINED BY THE COR AT THE CONSTRUCTION MEETING.

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FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: ARCHITECTURAL SITE PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

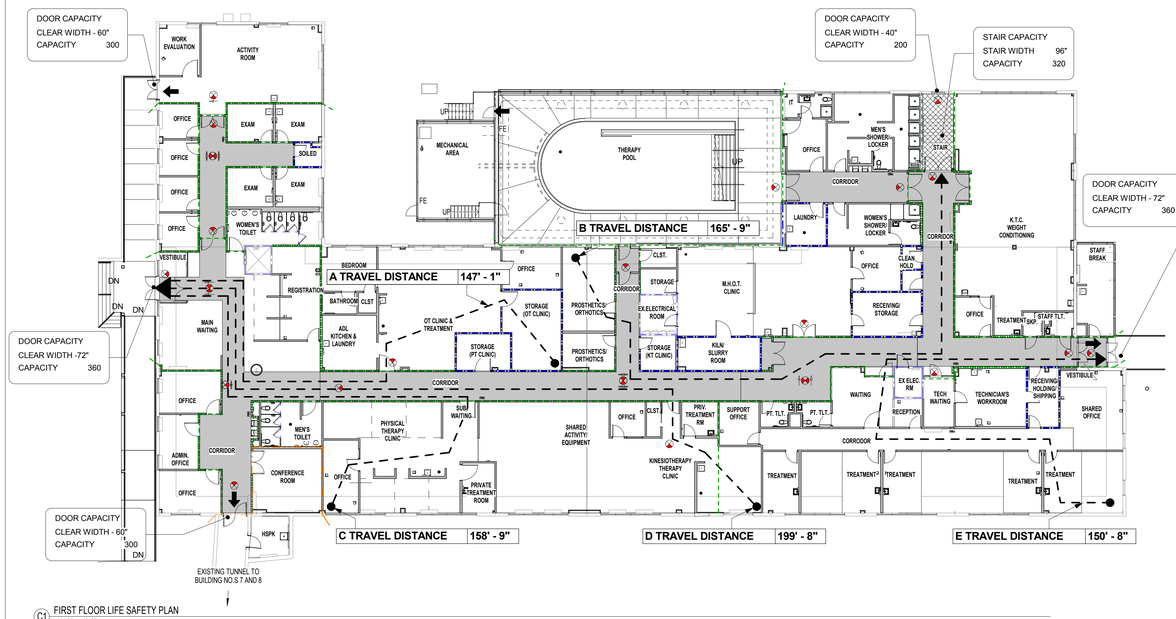
Drawing Number: GI002

Dwg. 03 of 86

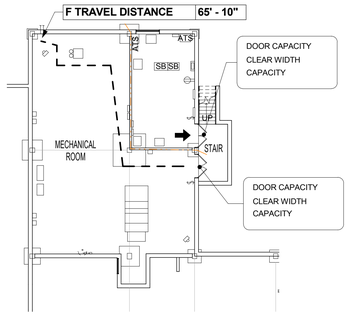
Office of Facilities Management

Department of Veterans Affairs

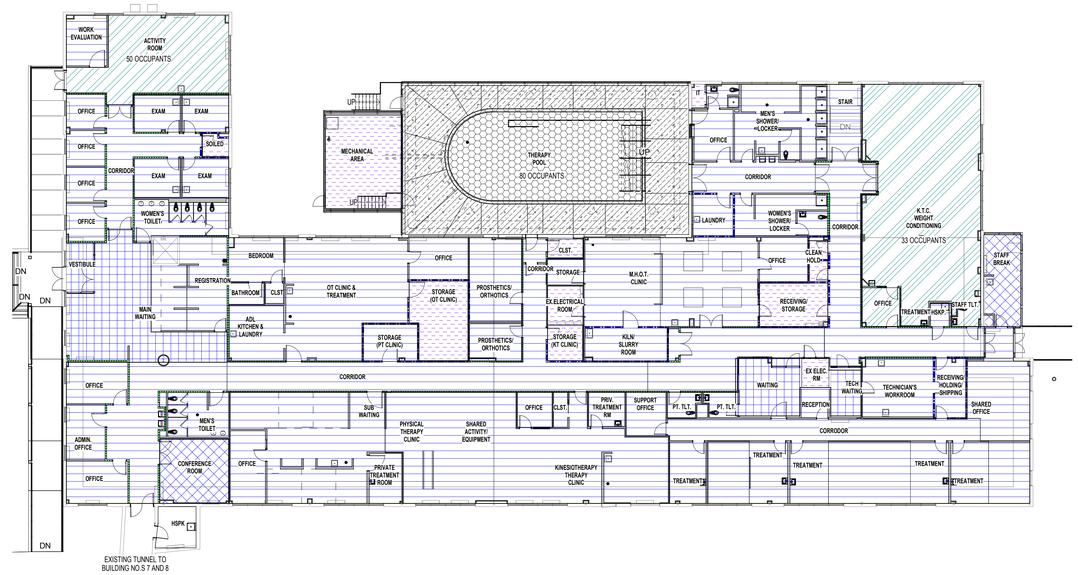
VA FORM 08-6231, OCT 1978



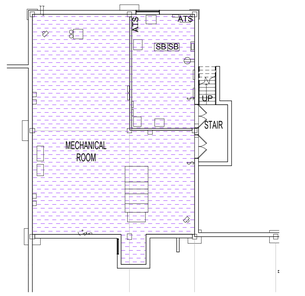
C1 FIRST FLOOR LIFE SAFETY PLAN
1/16" = 1'-0"



3 BASEMENT LIFE SAFETY PLAN
1/16" = 1'-0"



F1 FIRST FLOOR OCCUPANCY PLAN
1/16" = 1'-0"



F5 BASEMENT OCCUPANCY PLAN
1/16" = 1'-0"

OCCUPANCY TYPE LEGEND

- ASSEMBLY UNCONCENTRATED
- ASSEMBLY CONCENTRATED
- BUSINESS
- STORAGE / MECHANICAL
- EXERCISE ROOMS WITH EQUIPMENT
- EXERCISE ROOMS WITHOUT EQUIPMENT
- SWIMMING POOLS (WATER SURFACE)
- SWIMMING POOLS (DECK SPACE)

CODE REQUIREMENTS FOR RENOVATION

APPLICABLE CODES:

- NFPA 101 LIFE SAFETY CODE 2012
- INTERNATIONAL BUILDING CODE 2012
- NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 5000 AND NFPA 900
- OSHA STANDARDS
- VA SEISMIC DESIGN RQUIREMENTS, H-18-8
- NATIONAL ELECTRICAL CODE
- ENERGY POLICY ACT 2005
- NATIONAL STANDARD PLUMBING CODE
- ASME BOILER AND PRESSURE VESSEL CODE
- ASME CODE FOR PRESSURE PIPING
- ABAAS INCLUDING VA SUPPLEMENT, BARRIER FREE DESIGN GUIDE PG-18-13
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318
- AISC MANUAL OF STEEL CONSTRUCTION, LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS.
- THE PROVISIONS FOR CONSTRUCTION AND SAFETY SIGNS, STATED IN THE GENERAL REQUIREMENTS SECTION 01010 OF THE VA MASTER CONSTRUCTION SPECIFICATION
- VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY - ASHREA STANDARD 62.1-2004
- SAFETY STANDARD FOR REFRIGERATION SYSTEMS - ASHRAE STANDARD 15-2007
- ASHRAE STANDARD 90.1-2007 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW RISE RESIDENTIAL BUILDINGS

	BUILDING CODE			NFPA 101
BUILDING OCCUPANCY CLASSIFICATION	BUSINESS			
TYPE OF CONSTRUCTION	N/A			TYPE 2 (0,0,0)
EXISTING BUILDING HEIGHT	1 STORY + BASEMENT			
EXISTING BUILDING AREA	25,261 S.F.			
PROJECT AREA	28,629 S.F.			
FIRE SUPPRESSION SYSTEM	NFPA 13 SPRINKLER SYSTEM			
SEISMIC / WIND REQUIREMENTS				
OCCUPANCY CATEGORY	III			N/A
SEISMIC DESIGN CATEGORY	C			N/A
WIND ZONE	B (90 MPH WIND SPEED)			N/A
CORRIDOR WIDTH				
CORRIDOR SERVING 49 PEOPLE OR LESS	N/A			36 INCHES
CORRIDORS SERVING 50 PEOPLE OR MORE	N/A			44 INCHES
ALLOWABLE DEAD END CORRIDOR	N/A			50 FEET
TRAVEL DISTANCE				
MAXIMUM ALLOWABLE TRAVEL DISTANCE	N/A			300 FEET
COMMON PATH OF TRAVEL	N/A			100 FEET
OCCUPANT	SEE SHEET GI003			
OCCUPANT LOAD				
EXIT				2 REQUIRED (<500 OCCUPANT) 3 REQUIRED (501-1000 OCCUPANT) 4 REQUIRED (>1000 OCCUPANT)
(MINIMUM) NUMBER OF EXITS REQUIRED	N/A			
EXIT CAPACITY	N/A			SEE SHEET GI003
(MINIMUM) STAIR, DOOR AND CORRIDOR WIDTH	N/A			(EXISTING STAIR) 36" / 0.3 = 320 (EXISTING DOOR AND CORRIDOR) 72" / 0.2 = 360
CORRIDOR FIRE-RESISTANT RATING	N/A			NON-RATED (38.3.6.1(c))
INTERIOR FINISHES	EXIT	CORRIDORS	ROOMS	
INTERIOR WALL AND CEILING FINISH REQUIREMENTS	CLASS A OR B	CLASS A OR B	CLASS A OR B	CLASS A OR B
INTERIOR FLOOR FINISH REQUIREMENTS	CLASS 1 OR 2			

FIRE RATINGS

NON-LOADBEARING WALLS AND PARTITIONS	HOURS	UL DESIGN #
FIRE WALLS (705)	2	N/A
EXIT ENCLOSURES (706.3.2 / 1020.1)	1	#U465/U419
EXITS PASSAGEWAY (706.3.3 / 1021.1)	1	N/A
HORIZONTAL EXITS (706.3.4 / 1022.1)	2	N/A
INCIDENTAL USE AREAS (706.3.6 / 508.2)	1	# U465/U419
OCCUPANCIES SEPARATION (706.3.8 / 508.3.2)	2	N/A
FIRE PARTITIONS (708)	1	N/A
SMOKE BARRIERS (709)	1	N/A
SHAFT ENCLOSURES (707.4)	1	# U465/U415
CORRIDOR WALLS (708.3 / 1017.1)	0	N/A

GENERAL NOTES:

1) ALL RATED INTERIOR PARTITION SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RATED PARTITION SCHEDULE UNLESS NOTED OTHERWISE ON THE FLOOR PLANS

2) CONTRACTOR TO PATCH AND REPAIR ALL NEW AND EXISTING FIREPROOFING AFTER INSTALLATION OF NEW WORK AS REQUIRED TO MAINTAIN REQUIRED FIRE RATING. CONTRACTOR TO USE MATERIALS COMPATIBLE WITH EXISTING FIREPROOFING FOR PATCH WORK.

LIFE SAFETY PLAN LEGEND

- NON RATED SMOKE PARTITION
- 1 HOUR FIRE RATED BARRIER / PARTITION
- EXIT ACCESS CORRIDORS
- EXIT / EXIT PASSAGEWAY
- EXIT DISCHARGE
- SMOKE COMPARTMENT EXIT
- 300'-0" MAX. — TOTAL TRAVEL DISTANCE TO AN EXIT
- 100'-0" MAX. — COMMON PATH OF TRAVEL

PROJECT AREA SUMMARY

EXISTING BASEMENT	2,481 S.F.
EXISTING FIRST FLOOR	22,780 S.F.
NEW ADDITION	3,368 S.F.
TOTAL AREA	28,629 S.F.

BUILDING CONSTRUCTION TYPE

NFPA 101 2012	IBC 2012
TYPE 2 (000)	2B

BUILDING OCCUPANT LOAD

EXISTING BASEMENT

USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY CONCENTRATED	-	7 NET	-
ASSEMBLY UNCONCENTRATED	-	15 NET	-
BUSINESS	-	100 GROSS	-
INPATIENT SLEEPING	-	120 GROSS	-
INPATIENT TREATMENT	-	240 GROSS	-
OUTPATIENT TREATMENT	-	100 GROSS	-
STORAGE/MECHANICAL	2,481 S.F.	300 GROSS	10
TOTAL LOAD	2,481 S.F.	-	10

EXISTING FIRST FLOOR

USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY CONCENTRATED	1,214 S.F.	7 NET	173
ASSEMBLY UNCONCENTRATED	526 S.F.	15 NET	35
BUSINESS	17,507 S.F.	100 GROSS	175
SWIMMING POOLS (WATER SURFACE)	-	50 GROSS	-
SWIMMING POOLS (DECK)	-	30 GROSS	-
STORAGE/MECHANICAL	907 S.F.	500 GROSS	2
EXERCISE ROOMS WITH EQUIPMENT	1,882 S.F.	50 GROSS	38
EXERCISE ROOMS WITHOUT EQUIPMENT	744 S.F.	15 GROSS	50
TOTAL LOAD	22,780 S.F.	-	473

NEW ADDITION

USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY CONCENTRATED	-	7 NET	-
ASSEMBLY UNCONCENTRATED	-	15 NET	-
BUSINESS	-	100 GROSS	-
SWIMMING POOLS (WATER SURFACE)	1,237 S.F.	50 GROSS	25
SWIMMING POOLS (DECK)	1,642 S.F.	30 GROSS	55
STORAGE/MECHANICAL	489 S.F.	500 GROSS	1
EXERCISE ROOMS WITH EQUIPMENT	-	50 GROSS	-
EXERCISE ROOMS WITHOUT EQUIPMENT	-	15 GROSS	-
TOTAL LOAD	3,368 S.F.	-	81

N

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR LIFE SAFETY PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

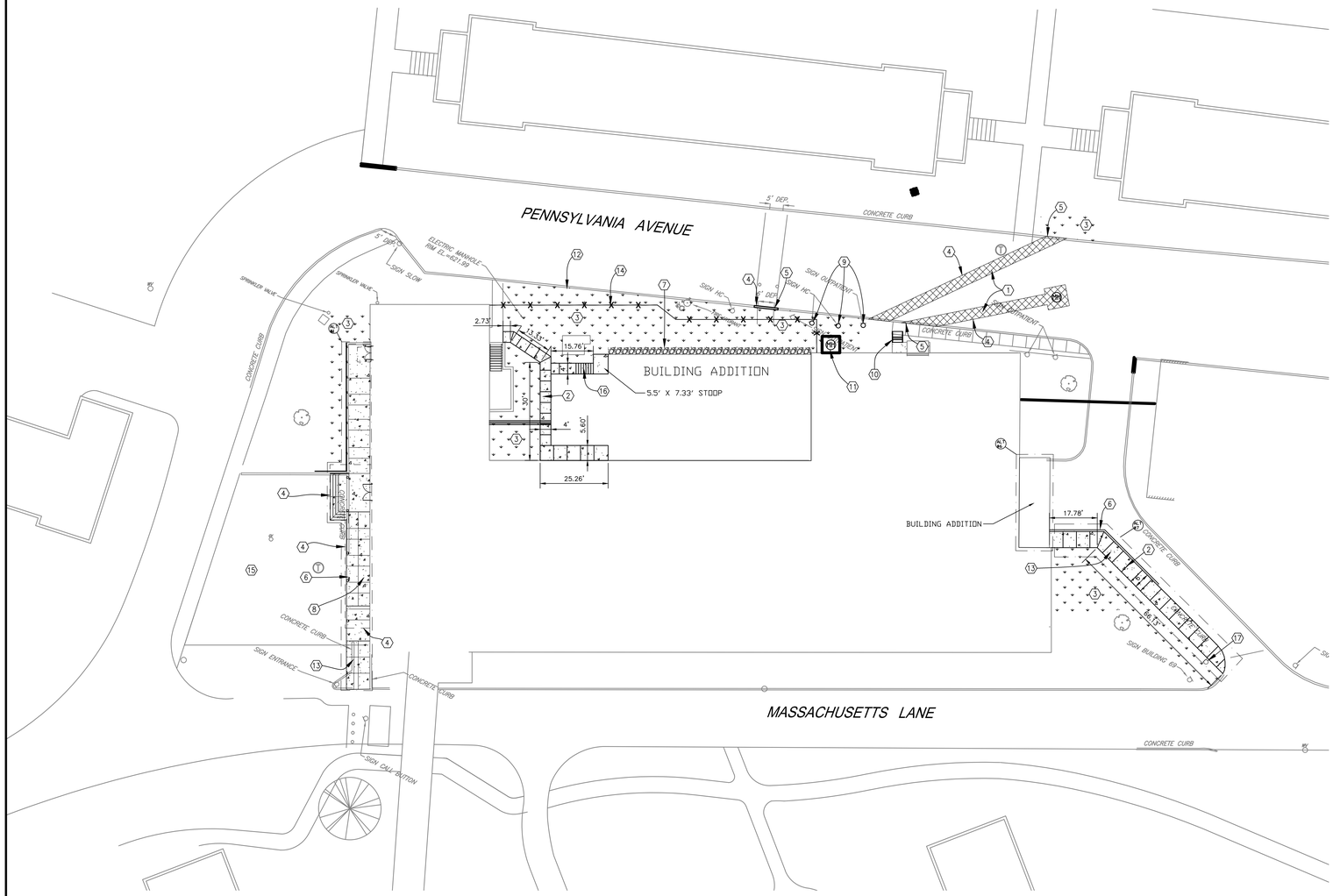
Drawing Number: GI003

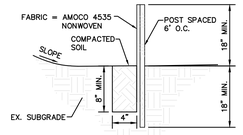
Dwg. 04 of 86

Office of Facilities Management

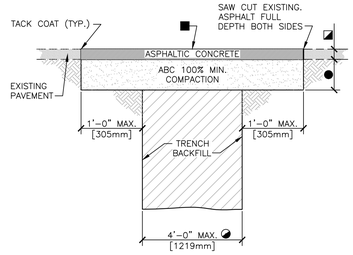
Department of Veterans Affairs

VA FORM 08-6231, OCT. 1978





1 SEDIMENT CONTROL FENCE
NTS



- FOR TRENCH WIDTHS EXCEEDING 4' [1219mm] REFER TO VA STANDARD DETAIL 32 12 16-02 "TYPE 2 UTILITY TRENCH PATCH". FOR TRENCH WHERE PORTLAND CEMENT CONCRETE (PCC) PAVEMENT EXISTS, REFER TO 32 12 16-03 "TYPE 3 UTILITY TRENCH PATCH".
- 2" [50mm] MINIMUM OR THICKNESS OF EXISTING PAVEMENT WHICHEVER IS GREATER.
- BITUMINOUS SURFACE TREATMENT (CHIPSEAL) REQUIRED ONLY FOR LONGITUDINAL TRENCHES WITH WIDTHS GREATER THAN 6' [1829mm].
- 4" [100mm] MINIMUM ABC OR THICKNESS OF EXISTING GRANULAR BASE COURSE MATERIALS (E.G. ABC & SELECT MATERIAL) WHICHEVER IS GREATER.

REFER TO VA STANDARD DETAIL 32 12 16-04 "UTILITY TRENCH PAVEMENT PATCH NOTES" FOR ADDITIONAL INFORMATION.

2 TYPE 1 UTILITY TRENCH PATCH
NTS

1. CONTRACTOR TO LEGALLY DISPOSE OF OFF SITE ALL EXISTING ASPHALT, ROCK, AND MATERIAL REMOVED.
2. CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES IN SUCH A MANNER TO PROVIDE MINIMAL TRAFFIC DISRUPTIONS.
3. ALL EXISTING UTILITIES TO STAY IN SERVICE DURING CONSTRUCTION. COORDINATE WITH OWNER.
4. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR THE BACK OF CURB.
5. FIELD VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO CONSTRUCTION AND IDENTIFY DISCREPANCIES TO THE ENGINEER.
6. PROVIDE POSITIVE DRAINAGE IN ALL AREAS WITHOUT PONDING AFTER INSTALLATION OF NEW ASPHALT. CONTRACTOR TO TEST AND CORRECT ANY "BIRD BATH" CONDITIONS.
7. CONTRACTOR TO COMPLY WITH ALL LOCAL AND STATE LAWS AND REGULATIONS.
8. NOTIFY ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION START TO VERIFY UTILITIES THAT MIGHT BE PRESENT ON SITE.
9. CAUTION!! THERE MAY BE EXISTING UNDERGROUND UTILITIES OF WHICH THERE IS NO ABOVE GROUND EVIDENCE OBSERVED. EXACT LOCATION OR UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL PENNSYLVANIA ONE CALL – DIAL 811.

1. ASPHALT REMOVAL AND REPAIR
2. CONCRETE SIDEWALK
3. SEEDING
4. SAW CUT PAVEMENT
5. CONCRETE CURB
6. CONCRETE WALL (SEE STRUCTURAL PLANS FOR DESIGN)
7. 2' WIDE STONE DRAINAGE BED
8. ADA RAMP AND SIDEWALK (SEE ARCHITECTURAL & STRUCTURAL FOR DIMENSIONING AND DETAILS)
9. REMOVE AND REINSTALL SIGN
10. REMOVE AND REINSTALL STAIRS
11. SILT SACK INLET PROTECTION
12. SEDIMENT CONTROL FENCE
13. SAWCUT AND REMOVE CURB & PAVEMENT FOR NEW SIDEWALK
14. CHAIN LINK CONSTRUCTION FENCE, 7 FT
15. EXISTING STRIPING TO BE REMOVED BY GRINDING, RESTRIPE PER THE VA'S COR DIRECTION
16. SEE ARCHITECTURAL PLANS FOR STAIR DETAILS
17. RELOCATED EXISTING STOP SIGN

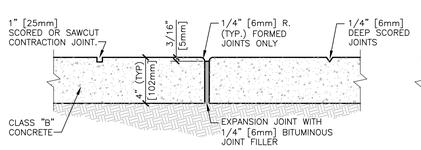
NOTE: EXISTING UTILITY INFORMATION SHOWN ON PLAN WAS DERIVED FROM A COMBINATION OF SURVEY AND EXISTING DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL RELEVANT UTILITY LOCATIONS.

TOPOGRAPHIC SURVEY PERFORMED BY HOWELL KLINE SURVEYING, LLC.

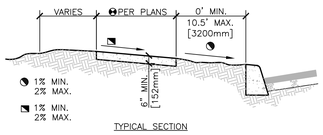
0 20' 40'

FULLY SPRINKLERED

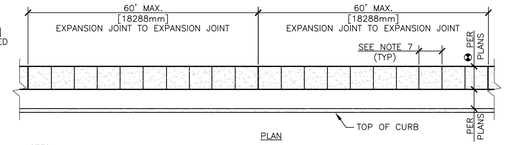
ISSUED FOR BID



EXPANSION AND SCORED JOINT DETAIL



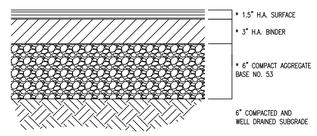
TYPICAL SECTION



PLAN

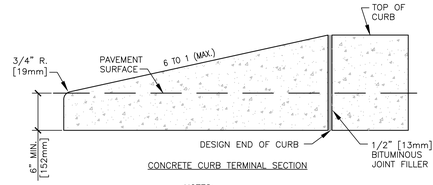
NOTES:
1. EXPANSION JOINTS SHALL BE LOCATED WHERE SIDEWALK ABUTS CONCRETE DRIVEWAYS, CURB OR OTHER ADJACENT STRUCTURES.
2. ONE-HALF INCH BITUMINOUS JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
3. 1" DEEP CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF APPROXIMATELY 15' [4572mm] OR AT A SPACING THAT MATCHES THE ADJACENT CURB.
4. FORMED CONTRACTION JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" [6mm] RADIUS.
5. SCORED JOINTS SHALL BE 1/4" [6mm] DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
6. CONCRETE SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TROWELLED AND BROOMED WITH A FINE BRUSH IN A TRANSVERSE DIRECTION.
7. 1/4" DEEP SCORED JOINTS (TYP) SPACED AT 6' [1829mm] OR EQUAL TO SIDEWALK WIDTH.

3 CONCRETE SIDEWALK
NTS



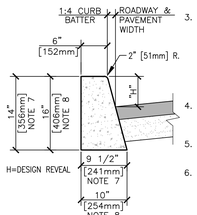
* PER PENNDOT SPECIFICATIONS MOST CURRENT EDITION

4 FULL DEPTH ASPHALT PAVEMENT DETAIL
NTS



CONCRETE CURB TERMINAL SECTION

NOTES:
1. ALL CONCRETE CURBS AND TRANSITIONS, SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI.
2. MAXIMUM SPACING ON SCORED JOINTS SHALL BE 15' [4572mm].
3. 1/2" [13mm] THICK EXPANSION JOINTS SHALL BE LOCATED AT TANGENT POINTS IN CURB RETURNS, TRANSITIONS, AND AT A MAXIMUM OF 60' [1828.8cm] INTERVALS. EXPANSION MATERIAL SHALL ALSO BE PLACED BETWEEN CURBS AND ADJACENT STRUCTURES, SIDEWALKS, DRIVEWAYS AND CURB ACCESS RAMPS. THE 1/2" [13mm] JOINT FILLER SHALL EXTEND THE FULL DEPTH OF THE CONCRETE.
4. CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FOLLOWED BY BRUSHING WITH A FINE BRUSH ALONG THE LENGTH OF THE CURB OR CURB AND GUTTER.
5. SINGLE CURB MAY BE CONSTRUCTED BY THE USE OF FORMS OR MAY BE SLIP FORMED.
6. ALL EXPOSED EDGES AND HAND TOOLED JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4" [6mm] RADIUS UNLESS A LARGER RADIUS IS INDICATED BY THE APPLICABLE STANDARD DETAIL OR PROJECT PLANS.
7. FOR REVEALS OF 6" [152mm] TO LESS THAN 8" [203mm].
8. FOR REVEALS OF 8" [203mm] TO 10" [254mm].



CONCRETE VERTICAL CURB

5 CONCRETE CURB AND TERMINAL SECTION
NTS

CONSULTANTS:									
Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Abatement Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	COLDON CORPORATION
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1617 JFK Blvd., SUITE 1705 PHILADELPHIA, PA, 19103 Tel (215) 496-8237

Revisions	Date

PROJECT MANAGER: Bray Mooney Consulting

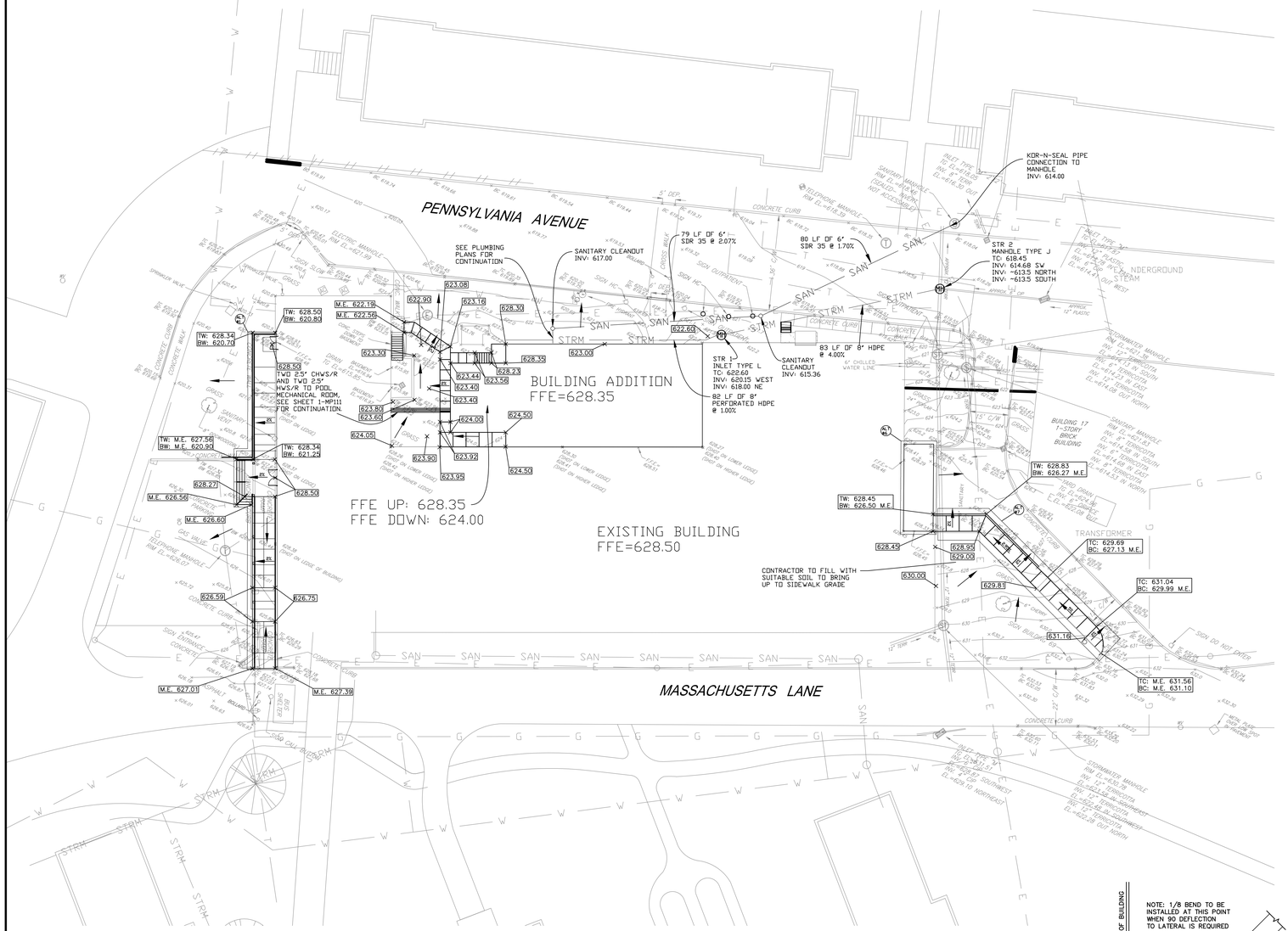
Project Number	Scale
3627	1" = 20'

Drawing Title	Project Title	VA Project Number
SITE PLAN	RENOVATE BUILDING 69	542-CSI-203
Approved: Project Director		Building Number: 69
	Location: 1400 Black Horse Hill, Coatesville, PA	Drawing Number: CS101
	Date: 02-05-13 / Checked: SLP / Drawn: CMB	Dwg. 5 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



1. CONTRACTOR TO REMOVE AND LEGALLY DISPOSE OF OFF SITE ALL EXISTING ASPHALT, ROCK, AND MATERIAL REMOVED.
2. CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES IN SUCH A MANNER TO PROVIDE MINIMUM TRAFFIC DISRUPTIONS.
3. MAINTAIN ALL EXISTING UTILITIES TO STAY IN SERVICE DURING CONSTRUCTION.
4. FIELD VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO CONSTRUCTION AND IDENTIFY DISCREPANCIES TO THE ENGINEER.
5. CONTRACTOR TO COMPLY WITH ALL LOCAL AND STATE LAWS AND REGULATIONS.
6. NOTIFY ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION START TO VERIFY UTILITIES THAT MIGHT BE PRESENT ON SITE.
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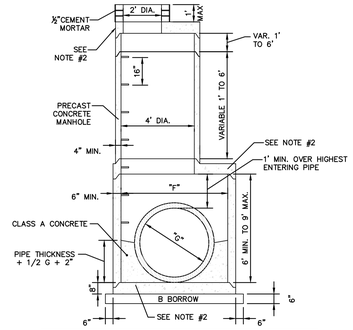
8. FOR VIEWING CLARITY OF THESE CONSTRUCTION PLANS, THE PIPES OR STRUCTURES MAY NOT BE DRAWN TO SCALE.



MANHOLE PIPE SIZES				
TYPE	G	F	MAXIMUM PIPE SIZE RT. ∠ TO MAINLINE	MAXIMUM PIPE SIZE FOR MAINLINE
H	2" TO 3"		2.5"	3"
J	2" TO 3"	5"	2.5"	3"
K	3" TO 4"	6"	3"	4"
L	4" TO 4.5"	8"	4"	4.5"
M	4.5" TO 6"	8.5"	5.5"	6"
N	6" TO 7"	9"	6"	7"

NOTES:
1. DROP PIPE MAY BE USED WITH MANHOLES TYPE H THROUGH TYPE N AND SHALL BE REFERRED TO AS DROP MANHOLE TYPE H THROUGH TYPE N.
2. THE CONTRACTOR WILL BE PERMITTED TO SUBSTITUTE MANHOLES TYPE C THROUGH TYPE F FOR MANHOLES TYPE H THROUGH TYPE N FOR COMPARABLE PIPE SIZES.

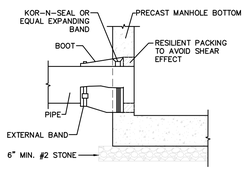
6 MANHOLE TYPE J,K,L,M & N
NTS

DRAINAGE DIRECTION FLOW

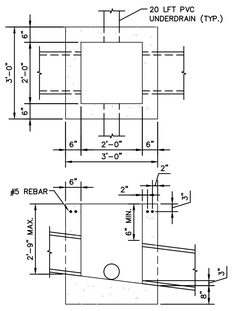
M.E. MATCH EXISTING GRADE

SITE SYMBOLS - UTILITIES

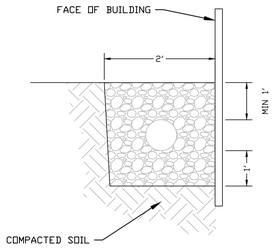
- GAS LINE
- ELECTRIC LINE
- WATER LINE
- STORM SEWER
- TELEPHONE LINE
- SANITARY SEWER
- 90LB PRESSURE STEAM
- 60LB PRESSURE STEAM
- FUEL LINE
- HYDRANT, FIRE
- SANITARY MANHOLE
- ELECTRICAL MANHOLE
- STORM STRUCTURE
- LIGHT POLE
- SWITCH
- TRANSFORMER
- STEAM VAULT
- GAS/WATER VALVE
- PUMPED CONDENSATE



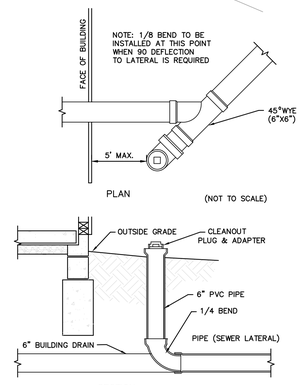
7 PIPE CONNECTION TO MANHOLE
NTS



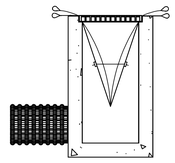
8 INLET TYPE "L"
NTS

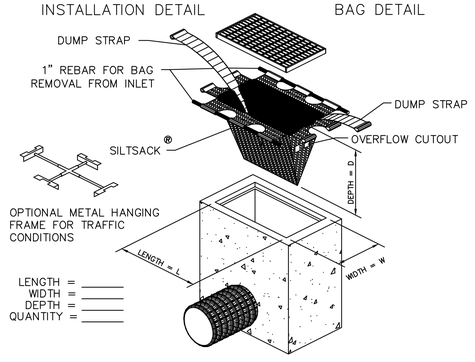


9 INFILTRATION TRENCH
NTS



10 SANITARY CLEANOUT TYPE II
NTS





11 SILTSACK W/ OVERFLOW OUTLET
NTS

NOTE: EXISTING UTILITY INFORMATION SHOWN ON PLAN WAS DERIVED FROM A COMBINATION OF SURVEY AND EXISTING DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL RELEVANT UTILITY LOCATIONS.

TOPOGRAPHIC SURVEY PERFORMED BY HOWELL KLINE SURVEYING, LLC.

0 20' 40'

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Abatement Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	COLDON CORPORATION
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1" = 20'

Drawing Title: GRADING & UTILITY PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	SLP	CMB

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: CS102

Dwg. 6 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

DESIGN CRITERIA NOTES:

1. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE, 2012 EDITION.

2. DESIGN LOADS ARE AS LISTED BELOW.

LIVE LOADS:

PRIVATE ROOMS & WARDS	40 PSF
RADIOLOGY, PHYSICAL THERAPY	75 PSF
PUBLIC AREAS	100 PSF
MECHANICAL ROOMS	150 PSF OR EQUIP. WT.
PARTITIONS IN NON-PUBLIC AREAS	15 PSF
ROOF	20 PSF

SUPERIMPOSED DEAD LOADS:

MECHANICAL, ELECTRICAL AND CEILING	10 PSF
FINISHES WHERE SHOWN ON ARCHITECTURAL	AS REQUIRED

3. LOADINGS FOR MECHANICAL ROOMS ARE BASED ON WEIGHTS OF ASSUMED EQUIPMENT AS INDICATED BY THE MECHANICAL DOCUMENTS (INCLUDING THE WEIGHT OF CONCRETE PADS, WHERE INDICATED). ANY CHANGES IN TYPE, SIZE, OR NUMBER OF PIECES OF EQUIPMENT SHALL BE REPORTED TO THE ARCHITECT FOR VERIFICATION OF THE ADEQUACY OF SUPPORTING MEMBERS PRIOR TO THE PLACEMENT OF SUCH EQUIPMENT.

4. BASIC DEISGN SNOW LOADS ARE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2012.

GROUND SNOW LOAD, Pg	30 PSF
FLAT-ROOF SNOW LOAD, Pf	28 PSF
SNOW EXPOSURE FACTOR, Ce	1.0
SNOW LOAD IMPORTANCE FACTOR, Is	1.1
THERMAL FACTOR, Ct	1.2

5. BASIC DESIGN WIND LOADS ARE IN ACCORDANCE WITH ASCE 7-08. DESIGN ASSUMPTIONS ARE AS FOLLOW:

MEAN RECURRENCE INTERVAL = 50 YEARS
BASIC WIND SPEED = 120 MPH
EXPOSURE TYPE FOR EFFECTIVE VELOCITY PRESSURE = B
RISK CATEGORY = IV

6. SEISMIC DESIGN - THE STRUCTURE HAS BEEN DESIGNED ACCORDING TO THE INTERNATIONAL BUILDING CODE, 2012.

SEISMIC IMPORTANCE FACTOR, Ie	1.25
SEISMIC USE GROUP	III
0.2 SECOND SPECTRAL ACCELERATION, Ss	0.26g
1.0 SECOND SPECTRAL ACCELERATION, S1	0.07g
SITE CLASS	D
SEISMIC DESIGN CATEGORY	C

FOUNDATION NOTES:

1. SPREAD FOOTINGS ARE DESIGNED FOR THE ALLOWABLE NET SOIL BEARING PRESSURE OF 3000 PSF. GENERAL CONTRACTOR TO PROVIDE GEOTECHNICAL REPORT PER SPECIFICATIONS TO VERIFY DESIGN ASSUMPTIONS.

2. PROVIDE CRACK CONTROL JOINTS IN SLABS-ON-GRADE AS INDICATED BY THE SPECIFICATIONS.

3. DO NOT ALLOW SURFACE WATER TO ACCUMULATE AND/OR POND IN EXCAVATIONS. TEMPORARY DEWATERING SYSTEM TO BE USED DURING CONSTRUCTION WILL BE DESIGNED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT AND THE REQUIREMENTS OF THE GOVERNING BUILDING CODE.

MISCELLANEOUS NOTES:

1. THE DETAILS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS, UNLESS NOTED OTHERWISE.

2. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. DO NOT SCALE THE DRAWINGS.

3. PRINCIPAL OPENINGS, CURBS, AND SLAB DEPRESSIONS ARE SHOWN ON THE DRAWINGS. SEE ARCHITECTURAL, MECH'L, ELEC'L, AND PLUMBING DRAWINGS FOR SLEEVES, CURBS, INSERTS, OTHER OPENINGS, AND SLAB DEPRESIONS NOT SHOWN. THE CONTRACTOR SHALL PROVIDE FOR ALL OPENINGS, CURBS, AND SLAB DEPRESSIONS WHETHER SHOWN ON STRUCTURAL DRAWINGS OR NOT. SIZE AND LOCATION OF OPENINGS SHALL BE VERIFIED WITH THE MECHANICAL CONTRACTOR. ANY DEVIATION FROM OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO ENGINEER'S ATTENTION FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.

4. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL DRAWINGS WITH THE ARCH'L, MECH'L, ELEC'L, PLUMBING, AND CIVIL DRAWINGS TO CONFIRM ALL REQUIREMENTS OF THE WORK. REPORT ANY CONFLICT/DISCREPANCY BETWEEN THE DISCIPLINES TO THE ARCHITECT PRIOR TO FABRICATING OR INSTALLING STRUCTURAL ELEMENTS.

5. THE HORIZONTAL AND VERTICAL DIMENSIONS OF EXISTING STRUCTURES SHALL BE VERIFIED BEFORE WORK IS BEGUN. ANY VARIATION BETWEEN DIMENSIONS SHOWN AND EXISTING DIMENSIONS SHALL BE REPORTED TO THE ARCHITECT.

6. THE CONTRACTOR SHALL INSURE THAT CONSTRUCTION LOADS DO NOT EXCEED THE DESIGN LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS AND THAT THESE LOADS ARE NOT PUT ON THE STRUCTURAL MEMBERS PRIOR TO THE TIME THAT THE CONCRETE REACHES THE FULL DESIGN STRENGTH AND ALL FRAMING MEMBERS AND THEIR CONNECTIONS ARE IN PLACE.

7. PROVIDE CHAMFERS AS SPECIFIED AND/OR DETAILED ON THE ARCHITECTURAL DRAWINGS. CHAMFERS HAVE NOT BEEN SHOWN ON THE STRUCTURAL DRAWINGS.

CONCRETE NOTES:

A. CAST IN PLACE CONCRETE:

1. CLASSES OF CONCRETE SHALL BE AS FOLLOWS:

CLASSES OF CONCRETE			
LOCATION	28 DAY F'c (psi)	CONC. TYPE	MAX. NOM. COARSE AGG. SIZE
ALL CONC. U.N.O.	3,000	N.W.C.	1 1/2"
SLAB ON GRADE	3,500	N.W.C.	1 1/2"
PILASTER, WALLS	4,000	N.W.C.	1 1/2"
TOPPING SLABS	4,000	N.W.C.	3/4"

N.W.C. DENOTES NORMAL WEIGHT CONCRETE WITH A MAX. DRY DENSITY = 150 PCF

2. CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS NOTED BELOW. SEE SECTION 7.7, ACI 318-10 FOR CONDITIONS NOT NOTED.

CONCRETE PROTECTION	
WALL FOOTINGS, COLUMN FOOTINGS, AND OTHER CONCRETE PLACED AGAINST SOIL	3"
WALLS	1.5" BACKFILLED SIDES 2" NON-BACKFILLED SIDES
SLABS-ON-GRADE	3" BOTTOM (MINIMUM) 1" TOP
TOPPING SLABS	1.5" TOP

3. HORIZONTAL CONSTRUCTION JOINTS SHALL BE PERMITTED ONLY WHERE SHOWN ON THE STRUCTURAL DRAWINGS.

CONCRETE REINFORCEMENT NOTES:

REINFORCING STEEL

a. CONCRETE REINFORCING BARS SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT AS NOTED. FIELD BENT #3 DOWELS MAY BE ASTM A615, GRADE 40. REINFORCEMENT REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, U.N.O.

b. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. THE FOLLOWING WELDED WIRE FABRIC SHALL BE USED FOR AREAS SPECIFIED BELOW, UNLESS NOTED OTHERWISE ON THE DRAWINGS:
5 INCH SLAB-ON-GRADE — 6 X 6 - W2.9 X W2.9
NON-STRUCTURAL TOP'G SLABS — 6 X 6 - W1.4 X W1.4
FOR ADDITIONAL WWF, IF ANY, SEE FLOOR FRAMING PLANS.

c. HEADED STUDS AND DEFORMED BAR ANCHORS USED IN FABRICATION OF EMBEDDED ASSEMBLIES SHALL BE WELDED TO THOSE ASSEMBLIES USING A FULL FUSION PROCESS.

d. REINFORCING BARS MAY BE SPLICED ONLY AS SHOWN ON THE DRAWINGS EXCEPT THAT REINFORCING DESIGNATED AS "CONTINUOUS" SHALL HAVE A CLASS "B" LAP SPLICE (ACI 318-08, SECTION 12.15.1). LAP SPLICES OF CONTINUOUS REINFORCING SHALL BE MADE OVER SUPPORTS FOR BOTTOM BARS AND FOR INTERMEDIATE BARS AND AT MIDSPAN FOR TOP BARS. AT EXTERIOR SUPPORTS, TOP AND BOTTOM BARS SHALL BE HOOKED AND INTERMEDIATE BARS SHALL EXTEND TO WITHIN 2" OF EXTERIOR FACE.

e. HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90 DEGREE BENDS AND EXTENSIONS AT CORNERS AND INTERSECTIONS AS SHOWN ON TYPICAL WALL CORNER BAR PLACING DETAILS.

f. LAPS IN WELDED WIRE FABRIC SHALL BE TWO MESH AT SPLICES.

g. PROVIDE STANDARD BAR CHAIRS WITH PROTECTIVE TIPS AND SPACERS SPACED AS REQUIRED TO PROVIDE SPECIFIED CONCRETE PROTECTION FOR REINFORCEMENT BUT NOT TO EXCEED 2'-0" ON CENTER FOR SLABS, BEAMS, AND GRADE BEAMS. PLACE BAR CHAIRS LONGITUDINALLY IN BEAMS DIRECTLY BELOW THE STIRRUPS.

STEEL NOTES:

A. STRUCTURAL STEEL

1. STRUCTURAL STEEL CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", 2005, U.N.O.

2. STRUCTURAL STEEL SHAPES, PLATES, ETC., SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS, U.N.O.

FLOOR/ROOF BEAMS AND GIRDERS EXCLUDING W8X10 AND SMALLER	ASTM A992-50
CHANNELS, TEES, ANGLES, BARS, PLATES, W8X10 AND SMALLER BEAMS	ASTM A36
STEEL TUBING (TS SECTIONS) (Fy = 46 KSI)	ASTM A500-GR. B
ANCHOR BOLTS	ASTM A449

3. CONNECTION BOLTS SHALL CONFORM TO ASTM A325. USE BEARING TYPE BOLTS WITH THREAD ALLOWED ACROSS THE SHEAR PLANE (TYPE N) AT TYPICAL BEAM SHEAR CONNECTIONS, U.N.O. USE TYPE "SC" BOLTS WITH EITHER DIRECT TENSION INDICATOR OR LOAD INDICATOR WASHERS AT ALL BOLTED SLIP CRITICAL CONNECTIONS.

4. A LISTING OF CONNECTIONS CONSIDERED "SLIP CRITICAL" IS AS FOLLOWS:

BOLTED CONNECTIONS OF TENSION MEMBERS.
BOLTS USED IN MOMENT CONNECTIONS.
BOLTED SPLICES OF TRUSS TOP AND BOTTOM CHORDS.

5. STEEL BEAM CONNECTIONS NOT DETAILED ON THE DRAWINGS SHALL BE DESIGNED BY THE STRUCTURAL STEEL FABRICATOR. BEAM CONNECTIONS SHALL DEVELOP THE END REACTIONS GIVEN ON THE DRAWINGS. WHERE END REACTIONS ARE NOT SPECIFIED, THE BEAM CONNECTION SHALL DEVELOP 50% OF THE BEAMS WEB ALLOWABLE SHEAR CAPACITY. A MINIMUM CONNECTION CAPACITY OF 12 KIPS SHALL BE PROVIDED FOR ALL BEAMS, UNLESS NOTED OTHERWISE BY SPECIFIED REACTION.

THE STRUCTURAL STEEL FABRICATOR SHALL PROVIDE CERTIFICATION BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF THE PROJECT, THAT THE CONNECTION DESIGN IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS.

6. FOR ALL HIGH STRENGTH BOLTS, HARDENED WASHERS SHALL BE PROVIDED.

7. GALVANIZING OF STEEL MEMBERS SHALL CONFORM TO ASTM A123.

8. HEADED STUDS AND DEFORMED BAR ANCHORS USED IN FABRICATION OF EMBEDDED ASSEMBLIES SHALL BE WELDED TO THOSE ASSEMBLIES USING A FULL FUSION PROCESS.

9. STEEL BEAMS SHALL BE ERECTED WITH NATURAL CAMBER UP.

10. ANCHOR BOLTS HAVE NOT BEEN DESIGNED FOR ANY SPECIFIC ERECTION FORCES. THE ERECTOR IS RESPONSIBLE FOR ANY AND ALL GUYING AND BRACING REQUIRED TO ERECT THE BUILDING.

11. COMPOSITE BEAMS USING CONCRETE SLAB AS COMPRESSION FLANGE ARE DESIGNED FOR UNSHORED CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE UP TO 5/8" DEFLECTION UNDER WET WEIGHT OF CONCRETE FOR BEAMS WHICH HAVE NO CAMBER SHOWN ON THE STRUCTURAL DRAWINGS.

12. OPEN WEB STEEL JOISTS AND BRIDGING SHALL CONFORM TO THE STANDARDS OF THE STEEL JOIST INSTITUTE. BRIDGING SHALL BE WELDED TO STEEL BEAMS AND ANCHORED TO MASONRY OR CONCRETE WALLS AT THE ENDS, U.N.O.

13. THE RESPONSIBILITY FOR ANY TEMPORARY SHORING OR BRACING DURING THE CONSTRUCTION PHASE BEFORE COMPLETION OF CONNECTION AND POURING OF FLOOR SLAB IS ADDRESSED IN THE SPECIFICATIONS AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

14. IF NOT SHOWN ON DRAWINGS, SUPPORT OF METAL DECK AROUND COLUMN CLOSURE, SCREED PLATES AROUND THE OPENINGS AND EDGE SLAB SHALL BE PROVIDED BY THE CONTRACTOR.

15. DURING CONSTRUCTION, THE ERECTED STRUCTURAL STEEL SHALL NOT PROCEED HIGHER THAN THE CONCRETE CORE CONSTRUCTION. THE CONTRACTOR SHALL MAKE SAFE PROVISIONS FOR STABILIZING THE STEEL STRUCTURE BOTH HORIZONTALLY AND VERTICALLY. THE STABILITY OF THE FRAME DURING ERECTION IS THE CONTRACTOR'S RESPONSIBILITY.

B. WELDING

1. WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE" D1.1; AWS D1.3-SHEET STEEL: AND AWS D1.4 "REINFORCING STEEL WELDING CODE".

2. ELECTRODES FOR FIELD AND SHOP WELDS OF STRUCTURAL STEEL SHALL BE E70XX, U.N.O.

3. ELECTRODES FOR WELDING OF REINFORCING STEEL SHALL BE E80XX.

4. ELECTRODES FOR WELDING OF SHEET STEEL SHALL CONFORM TO AWS D1.3.

5. WHEN WELDS ARE NOT CALLED-OUT ON DRAWINGS, THEY ARE MINIMUM SIZE CONTINUOUS FILLET WELDS IN ACCORDANCE WITH AWS D1.1. FILLET WELDS NOT SPECIFIED AS TO LENGTH SHALL BE CONTINUOUS.

6. UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL GROOVE WELDS SHALL BE FULL PENETRATION.

7. ONLY LOW HYDROGEN ELECTRODES SHALL BE USED ON REINFORCING STEEL AND ASTM A992 STEEL.

8. PROVIDE FILLET WELDS AT ALL CONTACT JOINTS BETWEEN STEEL MEMBERS SUFFICIENT TO DEVELOP THE ALLOWABLE TENSILE STRENGTH OF THE SMALLER MEMBER AT THE JOINT UNLESS DETAILED OTHERWISE ON THE DRAWINGS.

METAL DECK NOTES:

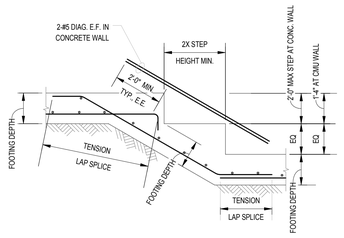
1. METAL DECK SHALL BE GALVANIZED AND SHALL BE PLACED WITH CONTINUOUS SPANS OF THREE OR MORE WHERE POSSIBLE. IN NO CASE SHALL UNSHORED METAL DECK SPANS EXCEED THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS OR DEFLECTION CRITERIA OF SPAN DIVIDED BY 240.

2. ROOF DECK SHALL BE WIDE RIBBED WITH THE FOLLOWING MINIMUM PROPERTIES:

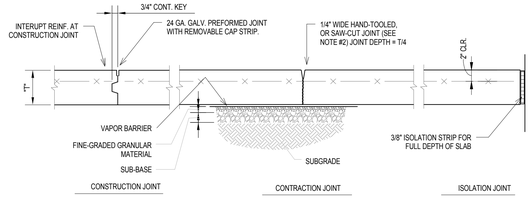
1.5B--20 GA.
I = .150 IN4/FT.
SP = .139 IN3/FT.
SN = .147 IN3/FT.

WELD DECK TO SUPPORTING MEMBERS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. DECK AND WELDS SHALL HAVE A MINIMUM DESIGN DIAPHRAGM SHEAR CAPACITY OF 200 PLF.

3. DECK UNITS SHALL BE LAPPED ONLY OVER SUPPORTS.

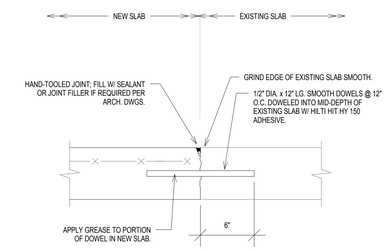


1 STEP IN WALL FOOTING
1/2" = 1'-0"



NOTES:
1. CONTRACTION JOINTS SHALL BE INSTALLED EITHER BY HAND TOOLING, OR BY SAW-CUTTING USING A "SOFF-CUT" ULTRA EARLY ENTRY DRY-CUT SAW OR AN APPROVED EQUAL; JOINTS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF FINISHING OPERATIONS.
2. REFER TO SPECIFICATIONS AND ARCHITECTURAL DRAWINGS FOR JOINT SEALANT REQUIREMENTS (IF ANY).
3. REFER TO SPECIFICATIONS AND TO GEOTECHNICAL REPORT FOR REQUIREMENTS FOR FINE-GRADED GRANULAR MATERIAL SUB-BASE MATERIAL AND VAPOR BARRIER (WHERE OCCURRING). REFER TO SPECIFICATIONS FOR SEQUENCE OF INSTALLATION OF FINE-GRADED GRANULAR MATERIAL, SUB-BASE MATERIAL AND VAPOR BARRIER.

2 SLAB ON GRADE CONSTRUCTION
1/2" = 1'-0"

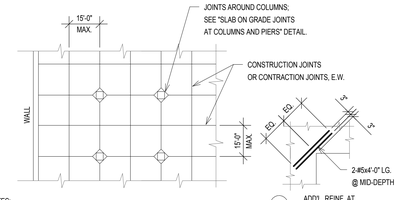


3 NEW SLAB ON GRADE CONNECTION TO EXISTING SLAB ON GRADE
3/4" = 1'-0"

f'c	SPLICE CLASS	BAR SIZE					
		#3	#4	#5	#6	#7	#8
3000	CLASS A 1.0 Ld	13	17	21	27	37	49
	CLASS B 1.3 Ld	17	22	27	35	48	64
4000	CLASS A 1.0 Ld	12	15	18	24	32	42
	CLASS B 1.3 Ld	16	20	23	31	42	55
5000	CLASS A 1.0 Ld	12	13	16	21	29	38
	CLASS B 1.3 Ld	16	17	21	27	38	49
6000	CLASS A 1.0 Ld	12	12	15	19	26	35
	CLASS B 1.3 Ld	16	16	20	25	34	46

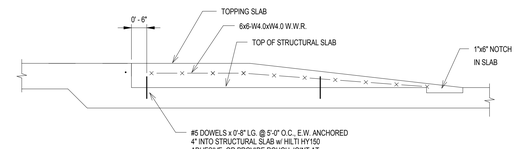
NOTES:
1. USE THE ABOVE DEVELOPMENT LENGTH AND LAP SPLICE TABLE FOR BEAMS, JOISTS, COLUMNS, WALLS, SLABS, ETC. WHEN THE CLEAR SPACE BETWEEN BARS IS GREATER THAN 2 BAR DIAMETERS.
2. WHEN THE CLEAR SPACE BETWEEN BARS IS LESS THAN OR EQUAL TO 2 BAR DIAMETERS, MULTIPLY DEVELOPMENT AND SPLICE LENGTHS LISTED IN TABLE BY 1.43.
3. TENSION DEVELOPMENT LENGTH = Ld. LENGTHS LISTED IN TABLE ARE IN INCHES.
4. PROVIDE LAP SPLICE LENGTH BASED ON THE LARGER BAR BEING LAPPED WHEN BARS OF DIFFERENT SIZES ARE LAP SPLICED.
5. FOR TOP BARS, MULTIPY THE DEVELOPMENT AND SPLICE LENGTHS BY 1.3. TOP BARS ARE DEFINED AS HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12 INCHES OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.

5 TENSION DEVELOPMENT AND LAP SPLICE LENGTH FOR N.W.C. (INCHES)
1/2" = 1'-0"

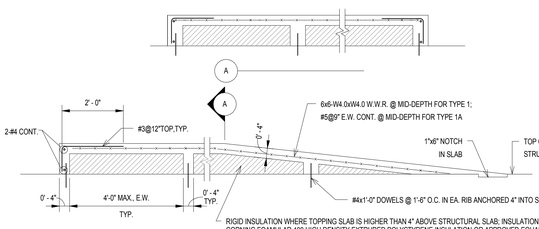


NOTES:
1. LOCATE CONSTRUCTION JOINTS AND CONTRACTION JOINTS ON ALL COLUMN GRID LINES AND SUB-DIVIDE AS REQUIRED TO LIMIT MAXIMUM SPACING BETWEEN JOINTS TO MAXIMUM DIMENSIONS INDICATED ABOVE.
2. LOCATE JOINTS IN A PATTERN THAT SUB-DIVIDES SLAB INTO PANELS THAT ARE SQUARE OR RECTANGULAR AND THAT HAVE AN ASPECT RATIO BETWEEN 1.0 (PREFERRED) TO 1.5.
3. PROVIDE JOINTS AT ALL RE-ENTRANT CORNERS OR PROVIDE REINFORCING PER DETAIL "A" AT RE-ENTRANT CORNERS WHERE JOINTS CAN NOT OCCUR.

4 SLAB ON GRADE JOINT ARRANGEMENT
1/2" = 1'-0"



6 TOPPING SLAB
1/2" = 1'-0"



RIGID INSULATION WHERE TOPPING SLAB IS HIGHER THAN 4" ABOVE STRUCTURAL SLAB; INSULATION SHALL BE OWENS CORNING FOAMULAR 400 HIGH DENSITY EXTRUDED POLYSTYRENE INSULATION OR APPROVED EQUAL; MIN. REQUIRED COMPRESSIVE STRENGTH = 40 PSI (PER ASTM D1621), MIN. REQUIRED COMPRESSIVE MODULUS = 1400 PSI (PER ASTM D1621), MIN. REQUIRED INSULATION FOUNDATION MODULUS "K" = 300 PCI; REFER TO ARCH. DWGS. AND SPECIFICATIONS FOR INSULATION THICKNESS AND ADDTIONAL INFORMATION AND REQUIREMENTS.

7 TOPPING SLAB
1/2" = 1'-0"

ADD ALTERNATES

ALT #1 — ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3ft deep reinforced concrete footings. Provide metal fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 — ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Add one (1) wythe brick and precast concrete cap to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 — ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigid insulation at exterior side of CMU.

ALT #5 — ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 — ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 — ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5" deep by 6" wide sidewalk on compacted fill with turned down edge at South and Southwest sides. Provide 2.5" OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 — ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 — ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide ventilation supply and exhaust ductwork demolition and installation.

ABBREVIATIONS USED ON STRUCTURAL DRAWINGS

A.F.F.	ABOVE FINISHED FLOOR	LWC.	LIGHT WEIGHT CONCRETE
ADD'L	ADDITIONAL	L.F.	LINEAR FOOT
A.R.	ANCHOR ROD	LG.	LONG
L	ANGLE	LLH	LONG LEG HORIZONTAL
		LLV	LONG LEG VERTICAL
BET.	BETWEEN	L.P.	LOW POINT
BSMT.	BASEMENT		
BM.	BEAM	MECH.	MECHANICAL
BRG.	BEARING	M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
B.S.	BOTH SIDES		
B or BOT. BOTTOM		MIN.	MINIMUM
B.O.D.	BOTTOM OF DECK		
BLDG.	BUILDING	N.S.	NEAR SIDE
		N.T.S.	NOT TO SCALE
CANT.	CANTILEVER		
C.I.P.	CAST-IN-PLACE	O.C.	ON CENTER
CL	CENTER LINE	OPNG.	OPENING
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
COL.	COLUMN	O.F.	OUTSIDE FACE
CMU	CONCRETE MASONRY UNIT		
CONN.	CONNECTION	PEN.	PENETRATION
CONT.	CONTINUOUS	PERP.	PERPENDICULAR
C.J.	CONTROL JOINT	PC.	PRECAST
		PL.	PLATE
DET.	DETAIL	P.T.	POST-TENSIONED
DIA.	DIAMETER	P.L.F.	POUNDS PER LINEAR FOOT
DIM.	DIMENSION	PSI	POUNDS PER SQUARE INCH
DIR.	DIRECTION	PSF	POUNDS PER SQUARE FOOT
DBL.	DOUBLE		
DRWG.	DRAWING or DRAWINGS	REINF.	REINFORCING or REINFORCE
		REM.	REMAINDER
EA.	EACH	REQ'D	REQUIRED
E.E.	EACH END		
E.F.	EACH FACE	SCHED.	SCHEDULE
E.W.	EACH WAY	SECT.	SECTION
E.O.D.	EDGE OF DECK	S.W.	SHORT-WAY
E.O.S.	EDGE OF SLAB	SIM.	SIMILAR
EL.	ELEVATION	S.O.G.	SLAB ON GRADE
EMBED.	EMBEDMENT	SL.	SLOPED
EQ.	EQUAL	SP.	SPACES
(E)	EXISTING	SQ.	SQUARE
E.J.	EXPANSION JOINT	SF	SQUARE FOOT
		STD.	STANDARD
F.S.	FAR SIDE	STL.	STEEL
FT.	FEET	STIFF.	STIFFENER
FIN.	FINISH or FINISHED	STRUCT.	STRUCTURAL
FL.	FLOOR	SYM.	SYMMETRICAL
FTG.	FOOTING		
		TEMP.	TEMPORARY
GALV.	GALVANIZED	T.	TOP
GA.	GAUGE or GAGE	T&B	TOP AND BOTTOM
		T.O.B.	TOP OF BEAM
HGR.	HANGER	T.O.C.	TOP OF CONCRETE
HT.	HEIGHT	T.O.S.	TOP OF STEEL
H.P.	HIGH POINT	T.O.W.	TOP OF WALL
HK.	HOOK	TYP.	TYPICAL
HOR.	HORIZONTAL		
		U.N.O.	UNLESS NOTED OTHERWISE
IN.	INCHES		
INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
INV.	INVERT	VERT.	VERTICAL
JT.	JOINT	W.W.F.	WLEDED WIRE FABRIC
		W.W.R.	WELDED WIRE REINFORCEMENT
K	1000 POUNDS	W/	WITH
		W.P.	WORK POINT

FULLY SPRINKLERED
ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

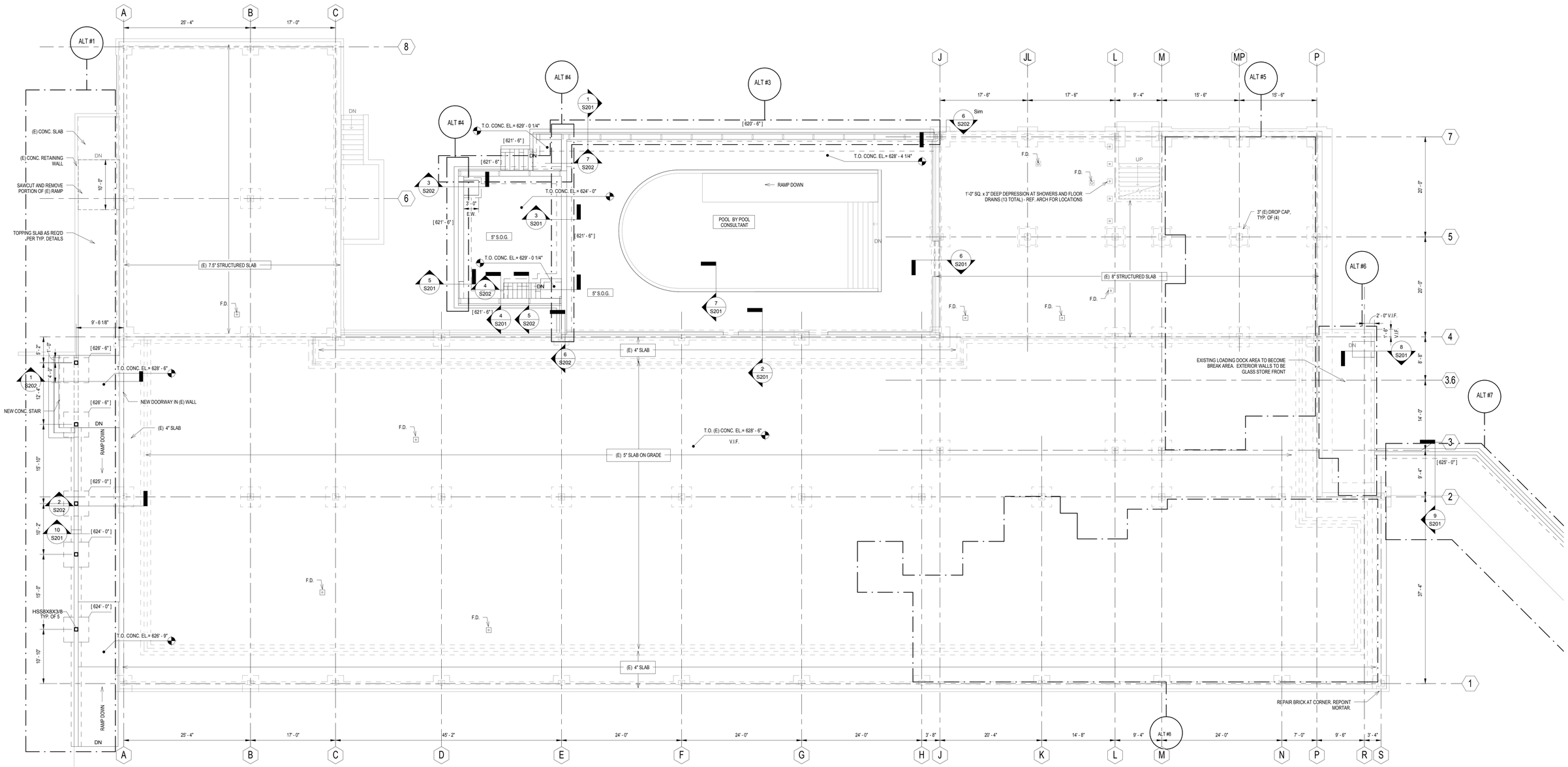
PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3619	As indicated

Drawing Title: GENERAL NOTES AND TYPICAL DETAILS
Approved: Project Director
Project Title: BUILDING 69 PM & R RENOVATION
Location: 1400 Black Horse Hill, Coatesville, PA
Date: 3/29/2013 | Checked: RAZ | Drawn: NEW
VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: S001
Dwg. 7 of 86

Office of Facilities Management
Department of Veterans Affairs

VA FORM 08-6231, OCT. 1978



PLAN NOTES:

1. DATUM ELEVATION ON THE STRUCTURAL DRAWINGS = ACTUAL ELEVATION
2. [..] INDICATES TOP OF FOOTING ELEVATION.
3. 5" S.O.G. INDICATES A 5" THICK SLAB ON GRADE REINFORCED WITH ONE LAYER OF 6x6-W2.9xW2.9 W.W.R. INSTALL SLAB ON TOP OF VAPOR BARRIER OVER A 2" THICK LAYER OF FINE-GRADED GRANULAR MATERIAL. A SUB-BASE LAYER AND A SUBGRADE PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHICAL REPORT.
4. COORDINATE LOCATIONS AND DIMENSIONS OF ALL SLEEVES AND OPENINGS THROUGH WALLS, SLABS, AND ROOF THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHI. DRAWINGS, MEP DRAWINGS AND MEP CONTRACTOR; SUBMIT COORDINATED DRAWINGS FOR REVIEW SHOWING DIMENSIONS AND LOCATIONS OF ALL SLEEVES AND OPENINGS.

N

1 FIRST FLOOR PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA. 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA. 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA. 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3619	As indicated

Drawing Title: FIRST FLOOR PLAN

Approved: Project Director

Project Title: BUILDING 69 PM & R RENOVATION

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/2013	RAZ	NEW

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: S111

Dwg. 8 of 86

Office of Facilities Management

Department of Veterans Affairs

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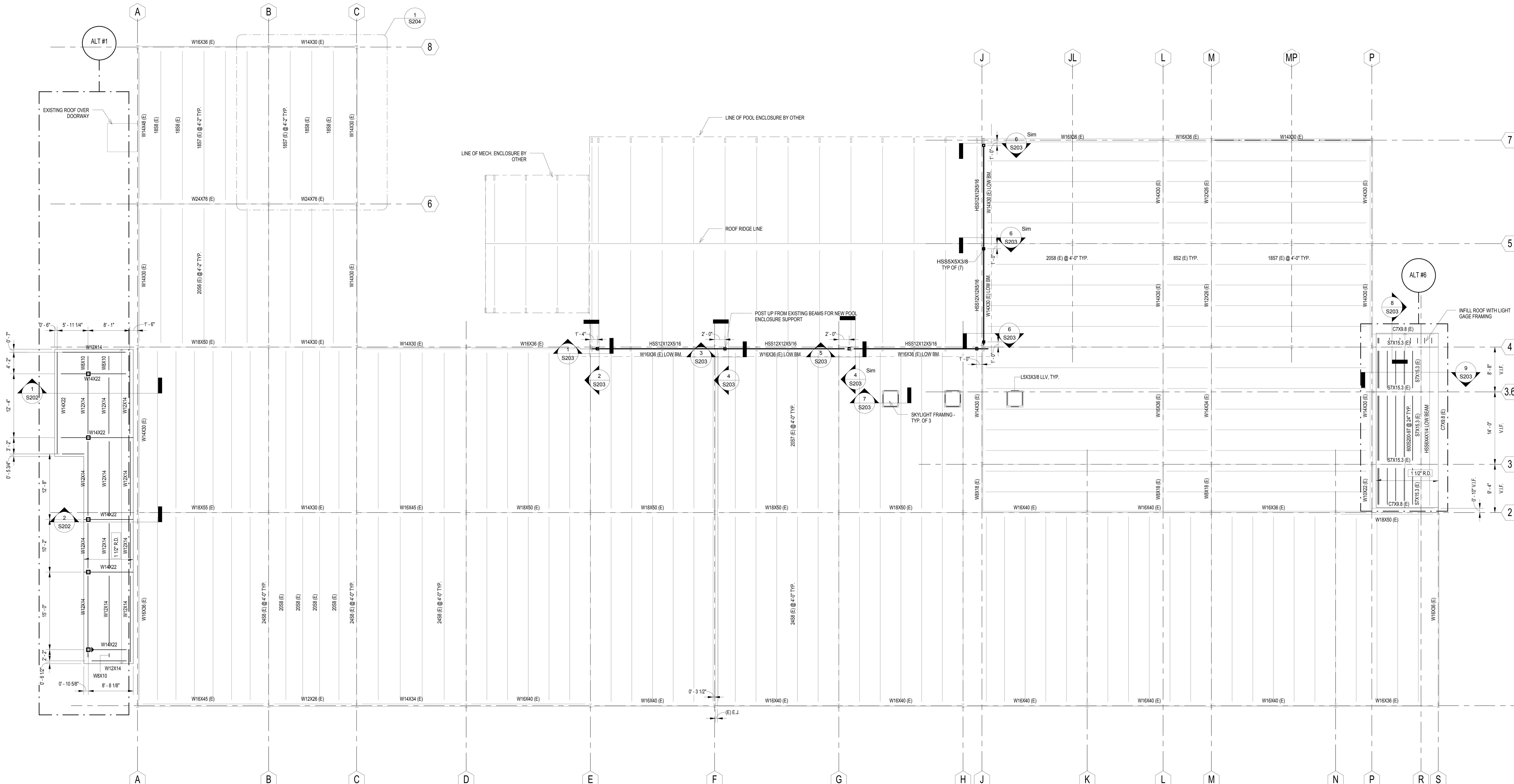

PLAN NOTES:

1. DATUM ELEVATION ON THE STRUCTURAL DRAWINGS = ACTUAL ELEVATION
2. 1 1/2" R.D. INDICATES 1 1/2" DEEP x 20 GAGE TYPE 'B' METAL ROOF DECK.
3. COORDINATE LOCATIONS AND DIMENSIONS OF ALL SLEEVES AND OPENINGS THROUGH WALLS, SLABS, AND ROOF THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCH'L DRAWINGS, MEP DRAWINGS AND MEP CONTRACTOR; SUBMIT COORDINATED DRAWINGS FOR REVIEW SHOWING DIMENSIONS AND LOCATIONS OF ALL SLEEVES AND OPENINGS.

N

1 ROOF PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager: BRAY MOONEY CONSULTING, 410 E. 21 STREET, CHESTER, PA, 19013, Tel (610) 872-3716

Architect: ARRAY HEALTHCARE FACILITIES SOLUTIONS, 2520 RENAISSANCE BLVD., SUITE 110, KING OF PRUSSIA, PA, 19406, Tel (610) 270-0599

Structural Engineer: WZG STRUCTURAL CONSULTING ENGINEERS, P.O. BOX 24, 40 LITTLE ROAD, ZIEGLERVILLE, PA, 19492, Tel (610) 287-3194

MEP/FP Engineer: APOGEE CONSULTING GROUP, 7330 CHAPEL HILL ROAD, SUITE 202, RALEIGH, NC, 27606, Tel (919) 858-7420

Civil Engineer: GUIDON DESIGN, 2453 N DELAWARE STREET, INDIANAPOLIS, IN 46205, Tel (317) 800-6388

Fire Protection Consultant: HARRINGTON GROUP, 7508 E. INDEPENDENCE BLVD., SUITE 116, CHARLOTTE, NC, 28277, Tel (704) 531-9077

Cost Estimator: BRAY MOONEY CONSULTING, 410 E. 21 STREET, CHESTER, PA, 19013, Tel (610) 872-3716

Aquatic Consultant: ATLANTIC AQUATIC ENGINEERING, 1823 DEEP RUN ROAD, PIPERSVILLE, PA, 18947, Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number: 3619
Scale: As indicated

Drawing Title: ROOF FRAMING PLAN

Approved: Project Director

Project Title: BUILDING 69 PM & R RENOVATION

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 3/29/2013
Checked: RAZ
Drawn: NEW

VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: S121
Dwg. 9 of 86

Office of Facilities Management

Department of Veterans Affairs

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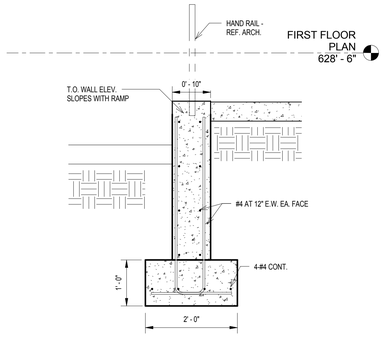
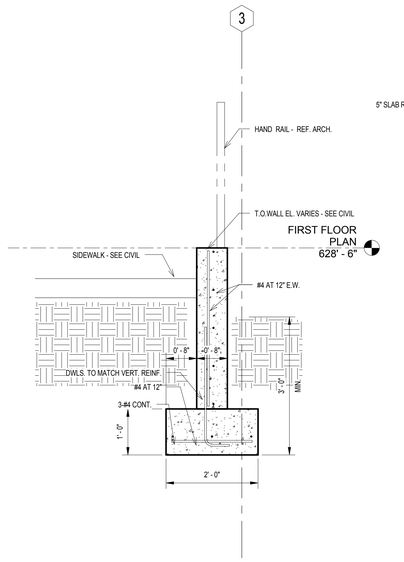
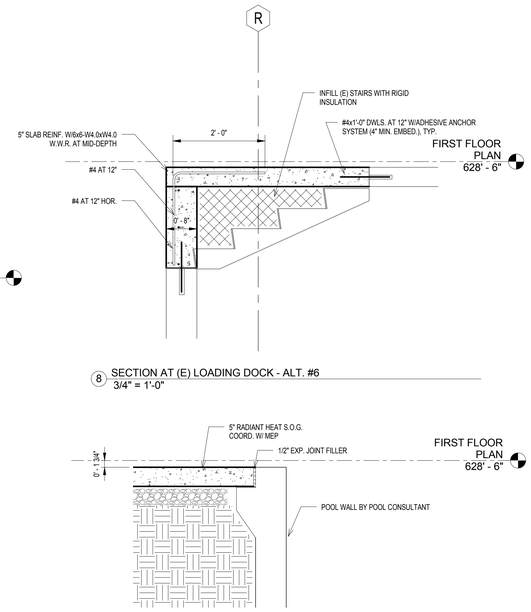


10 SECTION AT WEST ENTRANCE RAMP
3/4" = 1'-0"

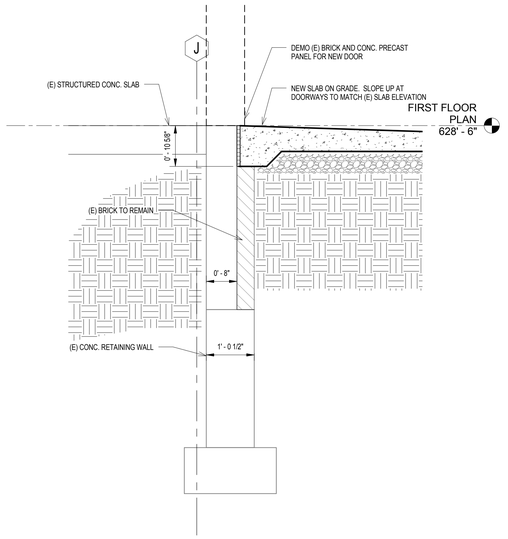


9 SECTION AT EAST RAMP - ALT #7
3/4" = 1'-0"

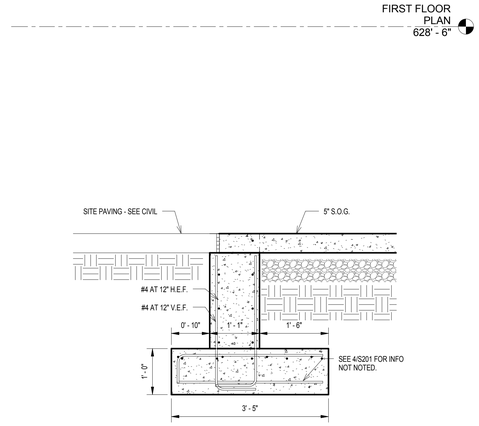


8 SECTION AT (E) LOADING DOCK - ALT. #6
3/4" = 1'-0"

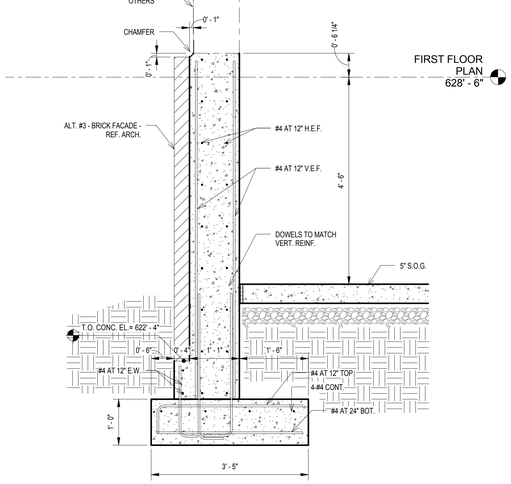
7 SECTION AT POOL WALL
3/4" = 1'-0"



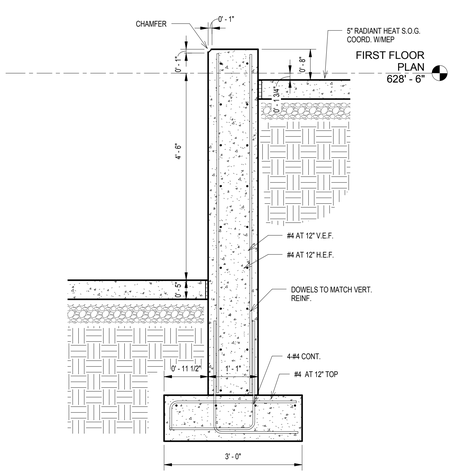
6 SECTION AT POOL ENTRANCE DOORS
3/4" = 1'-0"



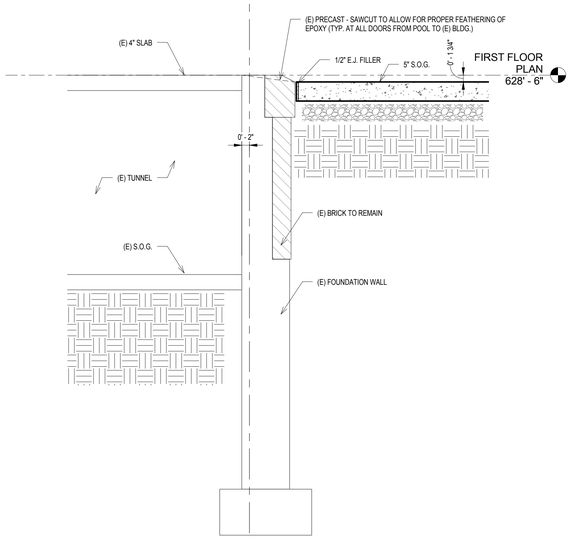
5 SECTION AT MECH. ENCLOSURE DOOR
3/4" = 1'-0"



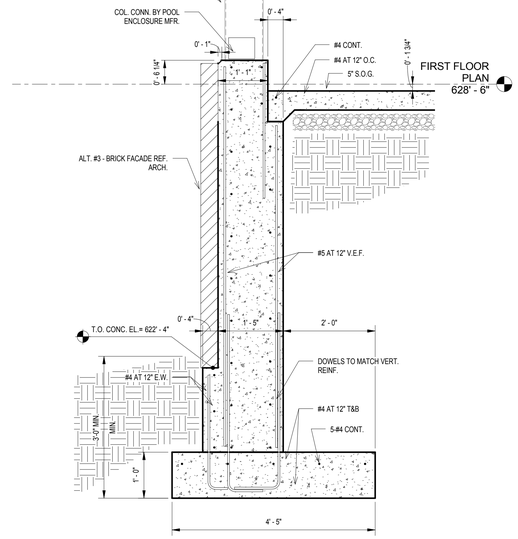
4 SECTION AT MECH. AREA WALL
3/4" = 1'-0"



3 SECTION AT POOL ENCLOSURE/MECH. AREA WALL
3/4" = 1'-0"



2 SECTION AT POOL ENCLOSURE INTERIOR WALL
3/4" = 1'-0"



1 SECTION AT POOL ENCLOSURE EXTERIOR WALL
3/4" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA. 19406 Tel (610) 270-0599	WZG STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA. 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC. 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC. 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA. 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3619	3/4" = 1'-0"

Drawing Title: DETAILS

Approved: Project Director

Project Title: BUILDING 69 PM & R RENOVATION

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/2013	RAZ	NEW

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: S201

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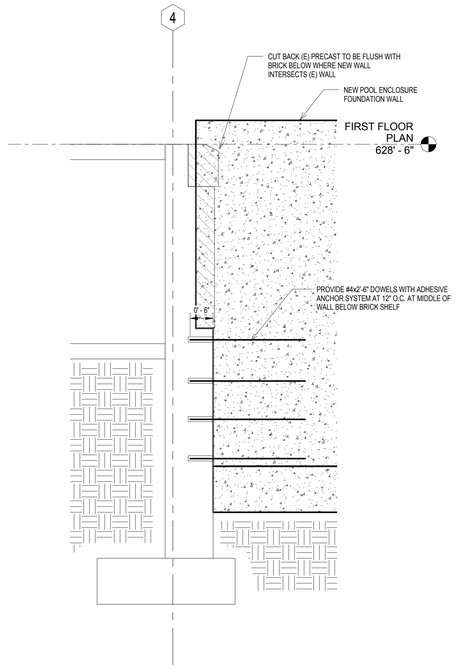
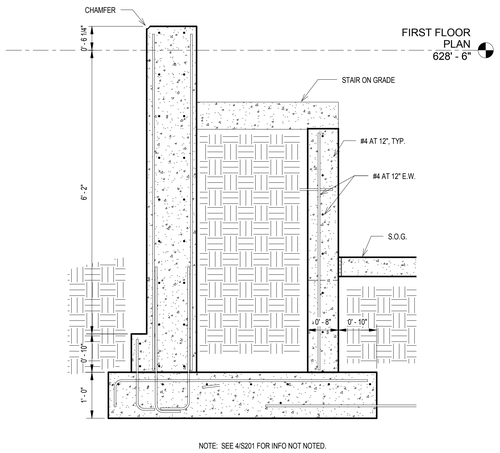
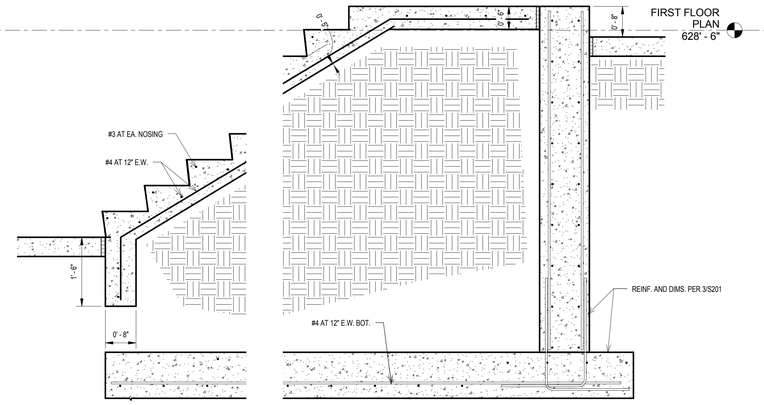


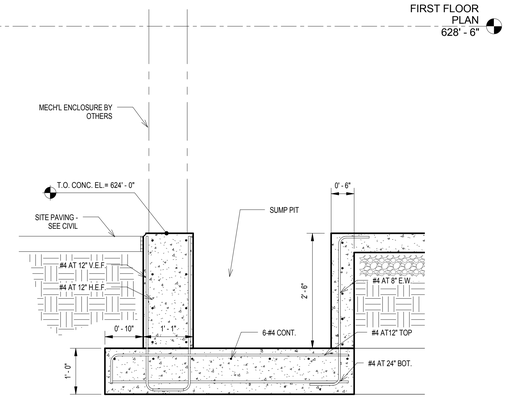
6 SECTION AT POOL ENCLOSURE NEW/EXISTING WALL INTERFACE
3/4" = 1'-0"



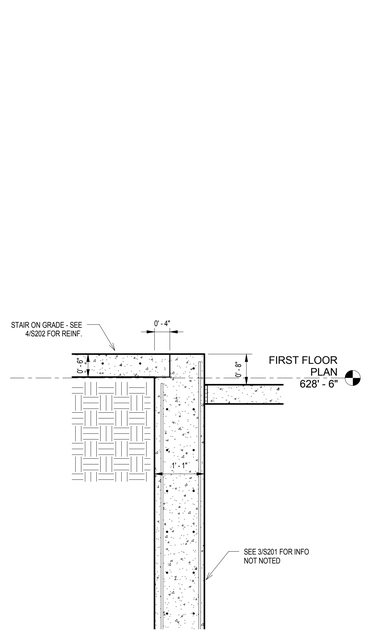
5 SECTION AT MECHANICAL STAIR
3/4" = 1'-0"



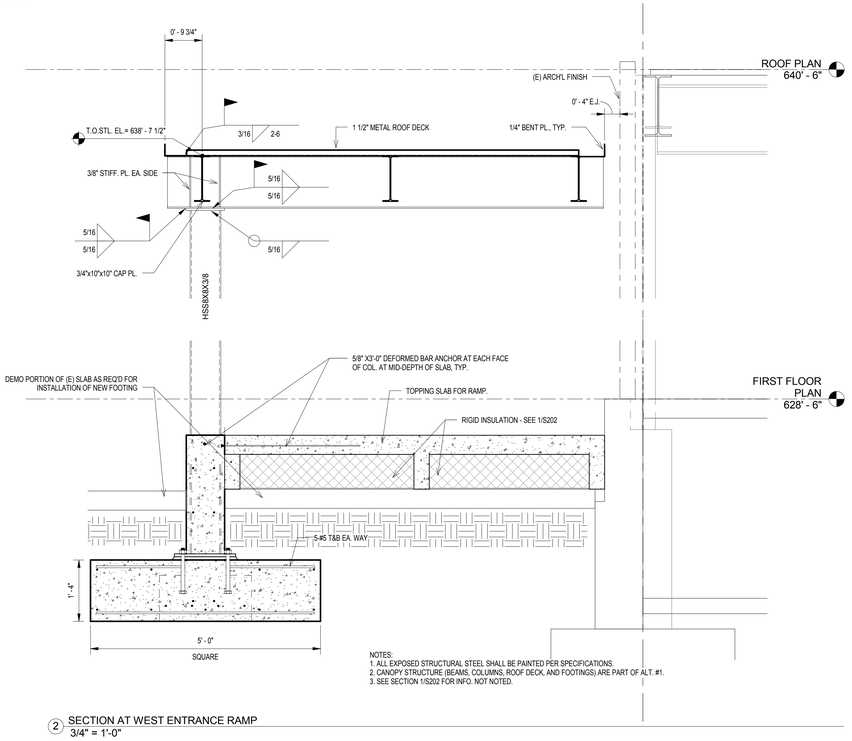
4 SECTION AT MECHANICAL STAIR
3/4" = 1'-0"



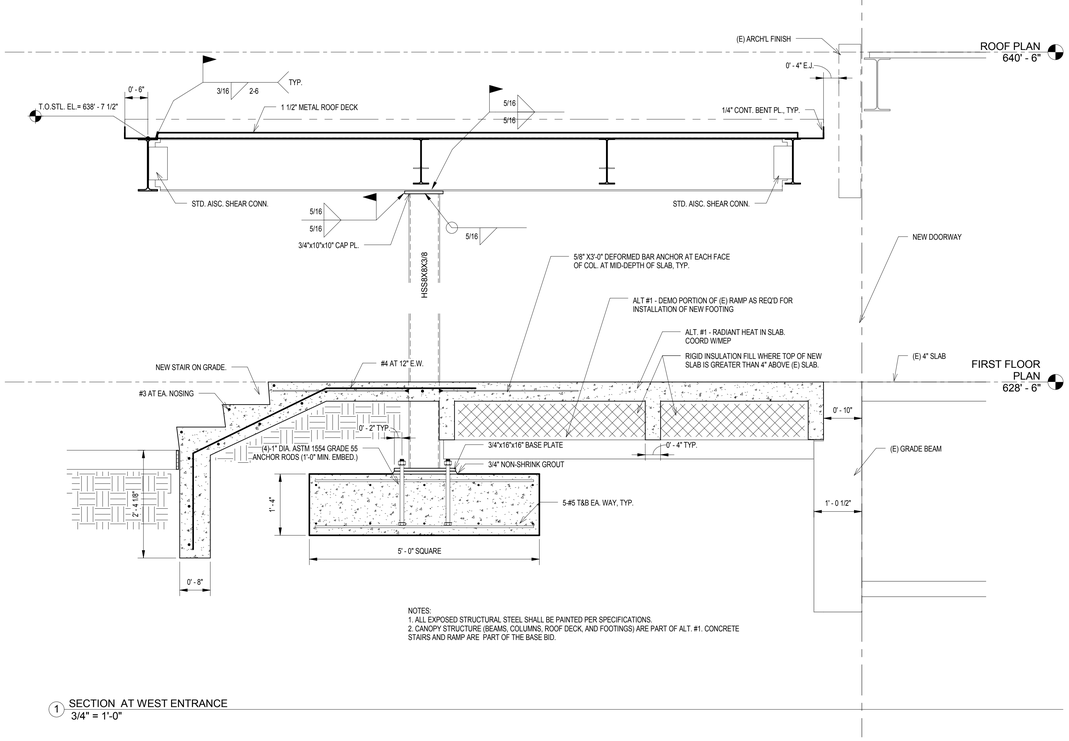
3 SECTION AT SUMP PIT
3/4" = 1'-0"



7 SECTION AT POOL EXIT STAIR
3/4" = 1'-0"



2 SECTION AT WEST ENTRANCE RAMP
3/4" = 1'-0"



1 SECTION AT WEST ENTRANCE
3/4" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453.N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3619	3/4" = 1'-0"

Drawing Title: DETAILS

Approved: Project Director

Project Title: BUILDING 69 PM & R RENOVATION

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/2013	RAZ	NEW

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: S202

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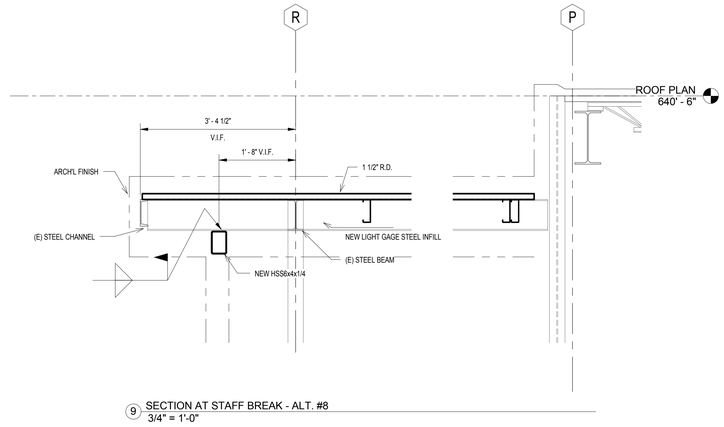
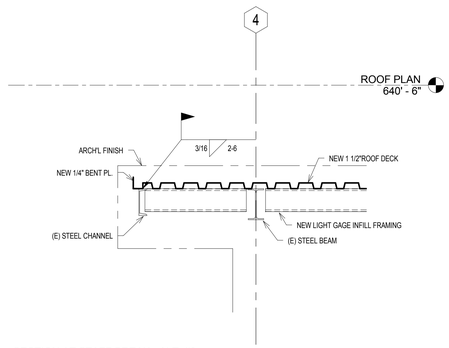
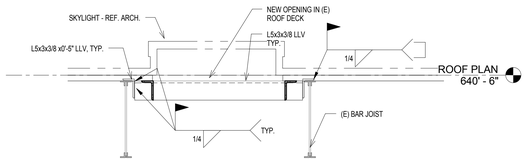


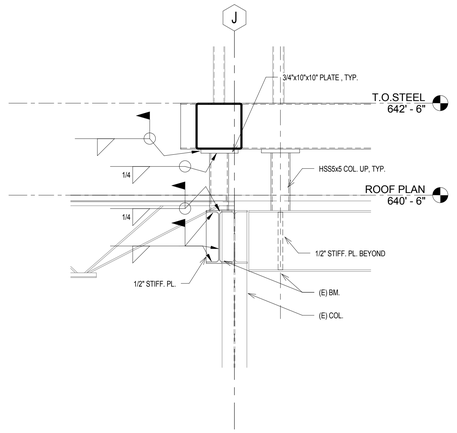
9 SECTION AT STAFF BREAK - ALT. #8
3/4" = 1'-0"



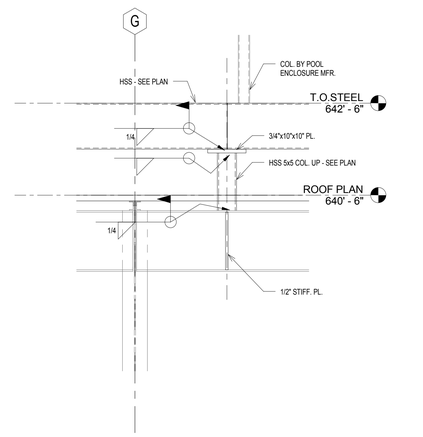
8 SECTION AT STAFF BREAK - ALT. #8
3/4" = 1'-0"



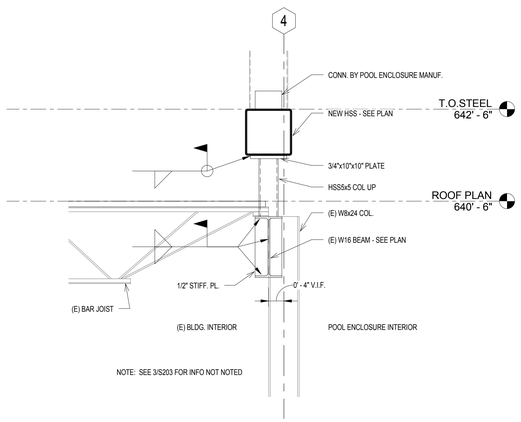
7 SECTION AT SKYLIGHT
3/4" = 1'-0"



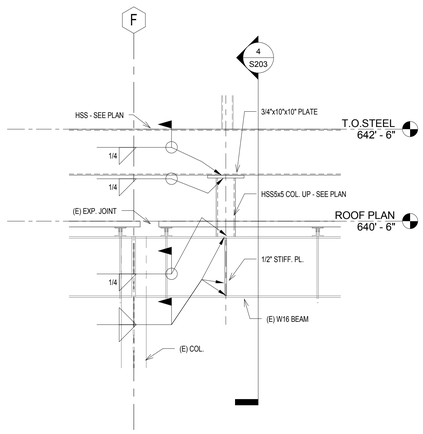
6 SECTION AT POOL ENCLOSURE (EAST)
3/4" = 1'-0"



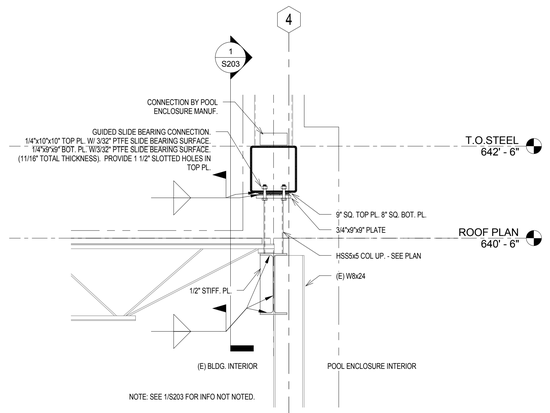
5 SECTION AT POOL ENCLOSURE (SOUTH)
3/4" = 1'-0"



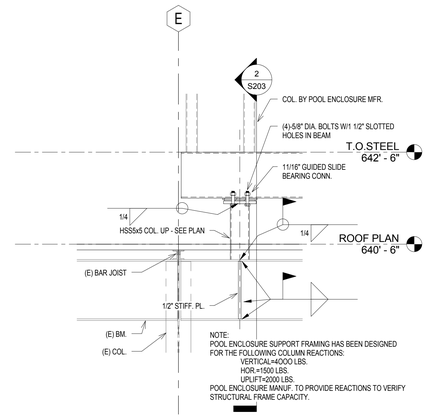
4 SECTION AT POOL ENCLOSURE (SOUTH)
3/4" = 1'-0"



3 SECTION AT POOL ENCLOSURE (SOUTH)
3/4" = 1'-0"



2 SECTION AT POOL ENCLOSURE (SOUTH)
3/4" = 1'-0"



1 SECTION AT POOL ENCLOSURE (SOUTH)
3/4" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA. 19406 Tel (610) 270-0589	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA. 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC. 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 600-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA. 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3619	3/4" = 1'-0"

Drawing Title: DETAILS

Approved: Project Director

Project Title: BUILDING 69 PM & R RENOVATION

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/2013	RAZ	NEW

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: S203

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Office of Facilities Management

Department of Veterans Affairs

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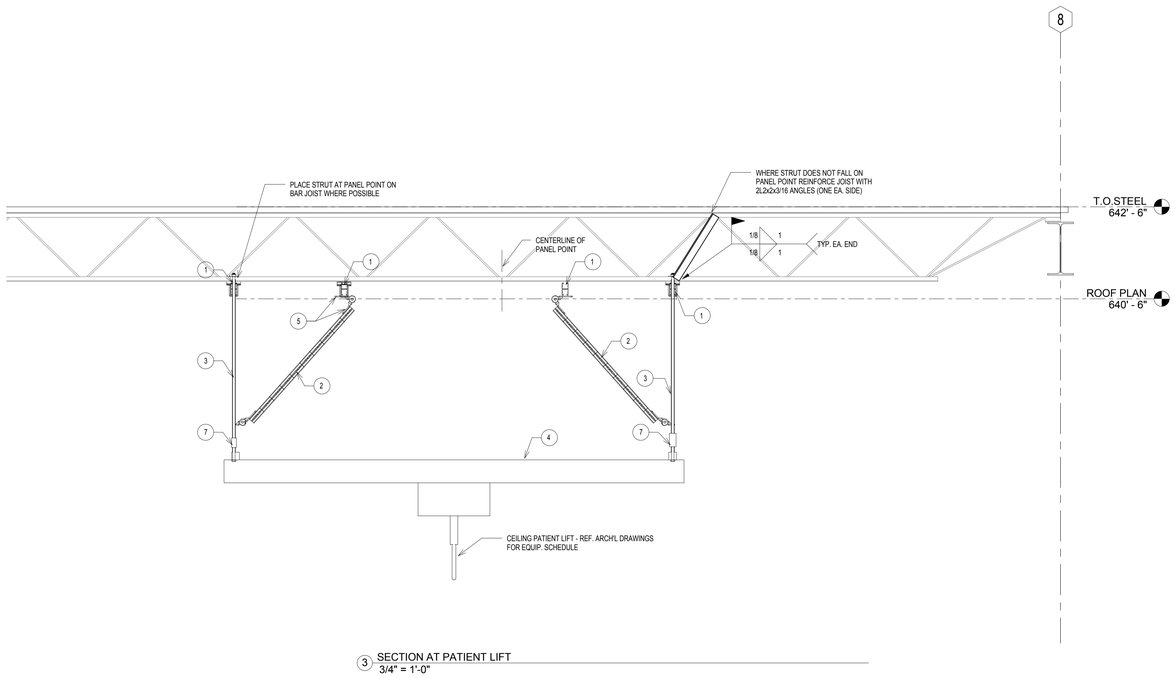
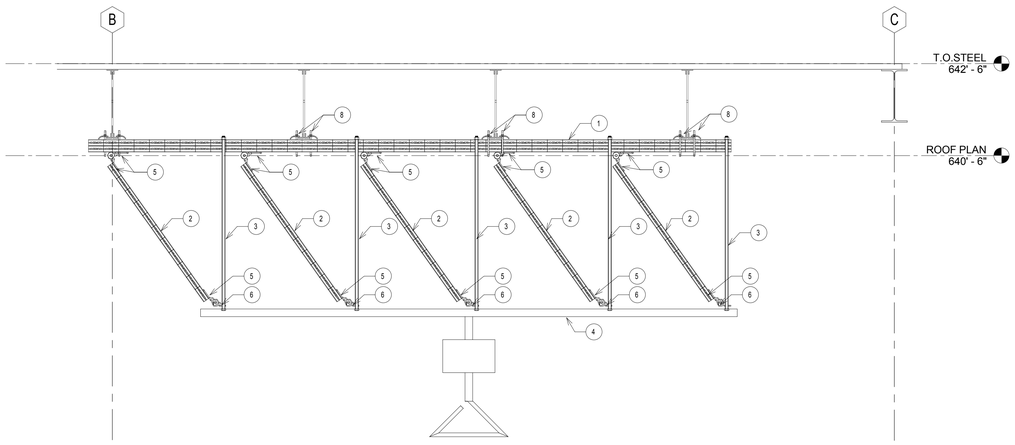
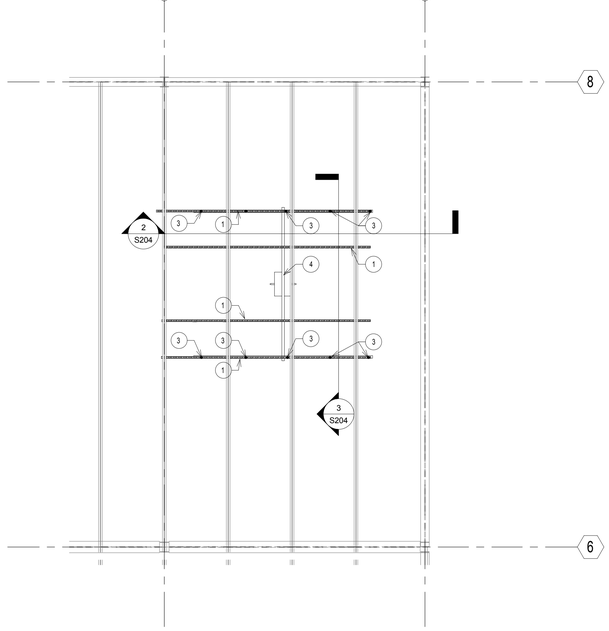


3 SECTION AT PATIENT LIFT
3/4" = 1'-0"



2 SECTION AT PATIENT LIFT
3/4" = 1'-0"



1 CEILING PATIENT LIFT
1/4" = 1'-0"

PARTS LIST

1	1 5/8" 12 GAGE STRUT B2B (3 1/4" TOTAL HEIGHT)
2	1 5/8" STRUT (12 GAGE) LATERAL BRACE - 2 PER THREADED ROD (1 EA. DIRECTION)
3	1/2" DIA. THREADED ROD, 3'-0" MAX SPA. PER PATIENT LIFT MANUF. REQ'MENTS.
4	PATIENT LIFT RAIL PROVIDED BY PATIENT LIFT VENDOR.
5	SEISMIC HINGE, STRUT HALF W/BOLT AND NUT (ITEM NO. 00333309) ATTACHED WITH TWO 1/2" DIA. BOLTS, LOCKWASHERS, AND 1/2" STRUT NUTS.
6	SEISMIC HINGE, BASE/HANGER HALF, 1/2" (ITEM NO. 00333308).
7	1/2" DIA. ROD COUPLER W/1/2" LOCK WASHER AND NUT.
8	BEAM CLAMP

PATIENT LIFT NOTES:
1. ALL BARIATRIC PATIENT CEILING LIFTS ARE TO BE ARJO HUNTLEIGH MAXI SKY 600.
2. HILTI STRUT IS THE BASIS OF DESIGN FOR STRUT DESIGN.

FULLY SPRINKLERED
ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	3619
Scale	As indicated
Drawing Title	PATIENT LIFT DETAILS
Approved: Project Director	
Project Title	BUILDING 69 PM & R RENOVATION
Location	1400 Black Horse Hill, Coatesville, PA
Date	3/29/2013
Checked	RAZ
Drawn	NEW
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	S204
Dwg.	13 of 86

Office of Facilities Management
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

DEMOLITION NOTES

1. ENCLOSE WITH A GYPSUM WALL BOARD PARTITION ANY EXISTING DUCTS, PIPES AND ELECTRICAL CONDUITS THAT ARE LEFT EXPOSED FROM DEMOLITION WORK IN FINISHED SPACES.

2. WHERE EXISTING EXTERIOR WALL OR INTERIOR PARTITIONS ARE DAMAGED IN AREAS OF SELECTIVE DEMOLITION BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR EXISTING WALL SURFACES TO MATCH EXISTING OR TO PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES.

3. ALL AREAS IN EXISTING WALL / PARTITION ABOVE CEILING LINE THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH UL-APPROVED MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION AND FIRE RATED ASSEMBLIES.

4. WHERE LEVEL CHANGES, HOLES, DEPRESSIONS, OR FORMED TRENCHES ARE UNCOVERED IN EXISTING CONCRETE SLAB BY THE REMOVAL OF EXISTING WALLS / EXISTING FLOORING OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND REPAIR EXISTING CONCRETE SURFACES WITH A LATEX OR GYPCRETE LEVELING COMPOUND UNLESS SPECIFIED OTHERWISE TO PRODUCE A SMOOTH LEVEL SURFACE TO RECEIVE NEW FINISHES.

5. FILL EXISTING PIPE AND CONDUIT HOLES RESULTING FROM DEMOLITION WORK, OR ANY OTHER EXISTING FLOORS OR WALL PENETRATIONS WITH AN UL-APPROVED MATERIAL TO MAINTAIN THE EXISTING FIRE RATED ASSEMBLY.

6. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM ANY WALL, FLOOR OR ROOF SYSTEM THAT IS TO REMAIN, THE OPENING SHALL BE INFILLED WITH MATERIALS THAT MATCH THE EXISTING CONSTRUCTION AND RESTORED TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING. NEW PENETRATIONS THRU EXISTING WALLS, FLOORS OR ROOFS SHALL BE FIRE RATED TO MATCH EXISTING FIRE RATING. WHERE HOLES IN FLOORS OR FLOOR OPENINGS ARE UNCOVERED OR CREATED BY SELECTIVE DEMOLITION WORK, THE CONTRACTOR MUST DO ONE OF THE FOLLOWING:
   A. WHERE OPENINGS ARE ACCESSIBLE TO FOOT TRAFFIC, EXPOSED TO VIEW, OR ARE GREATER THAN 2", THE OPENING MUST BE FILLED WITH A CONCRETE SYSTEM SIMILAR TO EXISTING.
   B. AREAS NOT EXPOSED TO VIEW, OR GREATER THAN 6", THE OPENING MUST BE FILLED WITH A CONCRETE SYSTEM SIMILAR TO EXISTING.
   C. AREAS NOT EXPOSED TO VIEW, CONCEALED BY CONSTRUCTION OR WHERE THE OPENING IS LESS THAN 6" THE OPENING MUST BE FILLED WITH A UL DESIGN SYSTEM AS SPECIFIED IN DIVISION 7 "THROUGH PENETRATION RESISTIVE MATERIAL". AFTER DEMOLITION OF EXISTING PARTITIONS, PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING CONSTRUCTION AND PREPARE WALL FOR NEW FINISHES.

7. AFTER DEMOLITION OF EXISTING M.P.E. WORK, EQUIPMENT AND CASEWORK, PATCH AND REPAIR EXISTING WALLS TO MATCH EXISTING CONSTRUCTION AND PREPARE WALL FOR NEW FINISHES.

9. IF EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL EXISTING CONSTRUCTION TO MATCH EXISTING OR TO PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES. ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED AND BE PROPERLY REPAIRED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR.

DEMOLITION LEGEND

DENOTES AREAS OF SELECTIVE DEMOLITION AND/OR ALTERATION WORK.

PROVIDE OPENING, SHOWN WITH DASHED LINES, IN EXISTING PARTITION AS REQUIRED TO RECEIVE NEW HOLLOW METAL DOOR FRAME OR BORROWED LIGHT OF THE TYPE AND STYLE INDICATED ON THE DOOR OR BORROWED LIGHT SCHEDULE. PATCH AND PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH.

REMOVE EXISTING WALL CONSTRUCTION, SHOWN WITH DASHED LINES, IN ITS ENTIRETY FROM FLOOR TO STRUCTURE ABOVE INCLUDING DOORS, DOOR FRAMES, BORROWED LIGHTS, TERRAZZO BASE, ASSOCIATED ELEC. / MECH. WORK, ETC. PATCH EXISTING ADJACENT AREAS DISTURBED BY DEMOLITION AND PREPARE SURFACES TO RECEIVE NEW FINISHES.

REMOVE EXISTING CASEWORK, COUNTERS, SHELVING, EQUIPMENT AND SUPPORTS, SHOWN WITH DASHED LINES. PATCH EXISTING WALL AND FLOOR AREAS DISTURBED BY DEMOLITION AND PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISHES.

REMOVE EXISTING DOOR OR BORROWED LIGHT, GLAZING AND HOLLOW METAL FRAME ASSEMBLY, SHOWN WITH DASHED LINES. CLOSE EXISTING OPENING WITH METAL STUDS AT 16" O.C. WITH GYPSUM BOARD EACH SIDE. REFER TO FLOOR PLAN FOR PARTITION TYPES. ALIGN NEW WORK FLUSH WITH EXISTING ADJACENT PARTITION. MATCH EXISTING WALL THICKNESS AND PREPARE SURFACE AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH.

REMOVE EXISTING PLUMBING FIXTURES, SHOWN WITH DASHED LINES. PATCH AND REPAIRE AREAS AFFECTED BY THEIR REMOVAL. EXISTING PIPING FROM REMOVED FIXTURES, SHALL BE CAPPED AS INDICATED ON THE PLUMBING DRAWINGS. ANY FLOOR PENETRATIONS DUE TO THE REMOVAL OF PIPING ARE TO BE FILLED WITH AN UL APPROVED MATERIAL.

DEMOLITION KEYNOTES

D1 REMOVE TWO CEILING SYSTEM. IF PLASTER, NOTIFY ARCHITECT TO EVALUATE WHETHER TO REMAIN OR TO BE REMOVED.
D2 DEMOLISH EXISTING EXTERIOR RAILING.
D3 DEMOLISH WINDOW AND LOWER PRECAST PANEL REQUIRED FOR POOL ACCESS AND EGRESS.
D4 EXISTING ELECTRIC ROOM, TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR EQUIPMENT.
D5 SAW CUT NEW OPENING IN EXISTING EXTERIOR BRICK AND BLOCK WALL AS REQUIRED TO INSTALL NEW DOOR AND FRAME. REFER TO STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
D6 DEMOLISH EXISTING ROOFING AND PROTECT FLASHING. STEEL STRUCTURE TO REMAIN.
D7 DEMOLISH EXISTING CONCRETE RAMP.
D8 DEMOLISH EXISTING CONCRETE SLAB, METAL FENCE AND MECHANICAL UNIT.
D9 DEMOLISH EXISTING FLOOR TO ORIGINAL WOOD FLOORING. PREPARE FOR REFINISH OF ORIGINAL WOOD FLOOR.
D10 PROTECT EXISTING ROOF LEADERS, TYP.
D11 DEMOLISH EXISTING CANOPY AND STRUCTURE.
D12 DEMOLISH EXISTING COOLING SYSTEM. PATCH AND REPAIR HOLES IN BRICK TO MATCH EXITING CONSTRUCTION TO PREVENT PENETRATION OF WATER.
D13 DEMOLISH EXISTING HANDICAPPED PUSH PLATE AND SYSTEM ATTACHED TO DOOR.
D14 REMOVE EXISTING HANDICAPPED PARKING SIGN FROM EXTERIOR OF BUILDING. PATCH AND REPAIR DAMAGE TO BRICK AND PRECAST PANELS TO MATCH EXISTING.
D15 EXISTING SPICKET TO REMAIN.
D16 DEMOLISH EXISTING BUILDING SIGNS FROM EXTERIOR OF BUILDING. PATCH AND REPAIR DAMAGE TO BRICK AND PRECAST PANELS TO MATCH EXISTING.
D17 EXISTING VENDING MACHINES TO BE REMOVED AND TURNED OVER TO THE VA.
D18 EXISTING IT PANELS TO REMAIN. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION OF PANEL.
D19 EXISTING SHAFT TO REMAIN.
D20 FAN COIL UNIT TO BE DEMOLISHED. COORDINATE WITH HVAC DRAWINGS.
D21 EQUIPMENT TO BE DISCONNECTED AND BROKEN DOWN FOR STORAGE AND REUSE. CONTRACTOR TO STORE IN A DRY, SAFE LOCATION FOR DURATION OF CONSTRUCTION.
D22 EQUIPMENT TO BE REMOVED AND TURNED OVER TO THE VA.
D23 PANIC BUTTONS TO BE DISCONNECTED AND STORED FOR REUSE.
D24 DEMOLISH EXISTING ACCORDIAN DOOR AND HARDWARE. PATCH EXISTING EXTERIOR WALL AND PREPARE FOR NEW FINISHES.
D25 DEMOLISH EXISTING CASEWORK.
D26 DEMOLISH EXISTING ACOUSTIC PANELS. PATCH AND REPAIR WALL TO RECEIVE NEW FINISHES.
D27 REMOVE ALL EXISTING CUBICLE CURTAIN TRACKS WITHIN THE DEMOLITION AREA AND TURN OVER TO OWNER.
D28 DEMOLISH EXISTING WALL MOUNTED FAN VENT. PATCH AND REPAIR EXTERIOR WALL TO MATCH EXISTING.
D29 REMOVE EXISTING RECESSED DRINKING FOUNTAIN AND TURN OVER TO OWNER.
D30 DEMOLISH EXISTING ADA GRAB BAR. PATCH EXISTING EXTERIOR WALL AND PREPARE FOR NEW FINISHES.
D31 SAW CUT AND REMOVE EXISTING CONCRETE SLAB ON GRADE AS REQUIRED TO INSTALL BELOW SLAB MPE WORK. PATCH AND REPAIR SLAB AS PER CUTTING AND PATCHING SPECIFICATIONS SECTION. REFER TO STRUCTURAL FOR SIZE AND LOCATION.
D32 EXISTING CAMERA & MOUNTING BRACKET TO BE RELOCATED. SEE OWNER FOR NEW LOCATION. EXTEND ALL WIRING TO NEW LOCATION. COORDINATE WITH OWNER, TYPICAL.
D33 REMOVE EXISTING ELECTRICAL PANEL. INFILL WITH BLOCK WALL WHERE WALL REMAINS. PATCH AND REPAIR AND PREPARE FOR NEW FINISHES. SEE ELECTRICAL DRAWING FOR MORE INFORMATION.
D34 DEMOLISH EXISTING LOUVER AND INFILL WITH BLOCK TO MATCH EXISTING. PATCH AND REPAIR TO RECEIVE NEW FINISHES. COORDINATE WITH HVAC DRAWINGS.
D35 REMOVE DOOR AND JAMB. PROVIDE STRUCTURAL BRACING AND SUPPORTS IF NECESSARY. PATCH AND REPAIR SURROUNDING WALL. PREPARE FOR NEW WALL INFILL.
D36 PROVIDE DEPRESSED SLAB 2'-0" X 2'-0" FOR NEW FLOOR DRAINS COORDINATE WITH ARCHITECTURAL PLAN FOR EXACT LOCATIONS. REFER TO PLUMBING DRAWINGS FOR RELATED WORK IN THIS AREA.
D37 POWER WASH EXISTING BRICK PANEL WHERE PANEL IS TO BE NEW INTERIOR WALL.
D38 DEMOLISH EXISTING WALL AND HOSE HOOK UP. CAP OFF EXISTING PLUMBING, REFER TO PLUMBING DRAWINGS.
D39 DEMOLISH EXISTING CERAMIC WALL AND FLOOR TILE AND GRIND SMOOTH.
D40 DEMOLISH EXISTING AUTOMATIC DOOR OPENER.
D41 EXISTING TRANSFORMER AND CONCRETE PAD, TO REMAIN.
D42 PARTIALLY DEMOLISH EXISTING CONCRETE CURB AND RAMP TO INSTALL NEW CONCRETE STAIR.
D43 DEMOLISH EXISTING COMPRESSED AIR HOSE AND CONNECTIONS. REMOVE ALL ACCESSORIES, PATCH AND REPAIR DAMAGE TO EXISTING BRICK WALL TO MATCH EXISTING. COORDINATE WITH MEP DEMOLITION DRAWINGS.
D44 ALL PLUMBING LINES TO BE DEMOLISHED BY SAWCUTTING. REFER TO PLUMBING DEMOLITON PLAN FOR PIPES AND LOCATIONS, TYP.
D45 EXISTING INSULATED CHILLER SUPPLY AND RETURN PIPES, TO REMAIN.
D46 DEMOLISH EXISTING COPING

DEMOLITION GENERAL NOTES

1. DEMOLITION IS INTENDED TO PREPARE THE BUILDING TO RECEIVE THE NEW WORK. THE INFORMATION PROVIDED IN NO WAY INTENDS TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO ALLOW THE EXECUTION OF NEW WORK. REMOVE ALL EXISTING ITEMS OF CONSTRUCTION AND EQUIPMENT WITHIN THE PROJECT AREA, INDICATED ON DEMOLITION PLAN, WHETHER SHOWN OR NOT, INCLUDING, BUT NOT LIMITED TO FLOOR MATERIAL, BASE, WALLS, CEILINGS, DOORS, DOOR FRAMES, CASEWORK, ELECTRICAL, MECHANICAL, PLUMBING FIXTURES AND SYSTEM, AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. ANY EXISTING WORK TO REMAIN, IF DAMAGED BY ANY TRADE ON NEW CONSTRUCTION, SHALL BE PATCHED, REPAIRED OR REPLACED TO MATCH EXISTING. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS REGARDING DEMOLITION AND ALTERATION PROCEDURES.

2. ALL NON-BUILT IN EXISTING MEDICAL EQUIPMENT, STORAGE UNITS AND FURNITURE, WILL BE REMOVED BY OWNER. REMOVAL OF SUPPORTS, TRACKS, BUILT IN ITEMS (STORAGE CABINETS, CASEWORK, ETC.) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, ALONG WITH THE NORMAL DEMOLITION WORK. REMOVE AND TURN OVER TO OWNER FOR STORAGE ANY ANCILLARY PIECES SUCH AS (BUT NOT LIMITED TO) MOUNTING BRACKETS, HARDWARE, MISC. SUPPORTS ITEMS, ETC. REQUIRED FOR THE REINSTALLATION OF EQUIPMENT. CONTRACTOR TO SEE EQUIPMENT BOOK FOR INFORMATION ON PLACEMENT INSTALLATION OF EXISTING AND NEW EQUIPMENT.

3. ALL DEMOLISHED ITEMS ARE TO BE REMOVED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED PIPING, WIRING, HANGERS, SUPPORTS, PROJECTIONS, ANCHORS, ETC. FROM EXISTING SURFACES. PATCH ALL HOLES TO MATCH ADJACENT SURFACES OR PROVIDE NEW FINISHES PER FINISH PLAN.

4. ALL STRUCTURAL INTERFERENCE OR STRUCTURAL WALLS, BEAMS, JOIST, COLUMNS, ETC. SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT FOR DECISION. NO FLOOR OR STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PERMISSION OF A REGISTERED STRUCTURAL ENGINEER. ALL PROPOSED SLEEVE / CORING SHALL BE REVIEWED BY ARCHITECT.

5. REMOVE COMPLETELY ALL EXISTING FLOOR FINISHES AND ADHESIVE DOWN TO THE CONCRETE SLAB. LEAVE FLOOR SMOOTH FOR NEW FINISH. OBSERVE MANUFACTURER'S REQUIREMENTS FOR SUB-FLOOR PREPARATION. TREATMENT OF EXISTING FLOOR FINISHES WITHIN AREAS OF DEMOLITION SHALL BE AS FOLLOWS:
   A. CARPET: REMOVE ENTIRELY, INCLUDING PADDING. REMOVE REMAINING GLUE RESIDUE AND PATCH AS NECESSARY FOR NEW FLOOR FINISH.
   B. VINYL: REMOVE ENTIRELY AFTER MATERIAL HAS BEEN TESTED FOR ASBESTOS. REMOVE GLUE OR GROUT RESIDUE. PATCH AS NECESSARY TO PROVIDE LEVEL SURFACE.
   C. CERAMIC TILE: REMOVE ENTIRELY. PATCH AND REPAIR FLOORS WITH A LATEX LEVELING COMPOUND TO PRODUCE A SMOOTH, LEVEL SURFACE TO RECEIVE NEW FINISHES.

5. ALL EXISTING WALLS TO RECEIVE NEW FINISHES ARE TO HAVE EXISTING FINISHES, INCLUDING CERAMIC TILE, VINYL WALL COVERING, ETC. COMPLETELY REMOVED UNLESS NOTED OTHERWISE. REMOVE COMPLETELY ALL EXISTING WALL BASE AND ADHESIVE AS REQUIRED FOR NEW WALL BASE. LEAVE WALL SURFACE SMOOTH TO RECEIVE NEW FINISH. SEE FINISH DRAWINGS AND/OR SCHEDULE.

6. REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL WORK. PATCH AND REPAIR EXISTING CEILINGS TO MATCH EXISTING OR INSTALL NEW CEILINGS AS INDICATED ON THE REFLECTED CEILING PLAN AND/OR FINISH PLAN.

7. WHERE NEW CEILINGS ARE INDICATED, REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER INSTALLATION OF NEW CEILINGS. PATCH AND REPAIR EXISTING WALL AS REQUIRED TO INSTALL NEW FINISHES.

8. REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DOCUMENTS FOR REQUIRED DEMOLITION WORK AS WELL AS EXISTING PIPING, CONDUITS, DUCTWORK, ETC. TO REMAIN WITHIN AREAS OF DEMOLITION.

9. COORDINATE DEMOLITION WORK WITH PHASING PLANS TO DETERMINE THE SCOPE WORK TO BE PREFORMED IN EACH PHASE AND TO CAREFULLY INTEGRATE WITH EXISTING CONSTRUCTION TO REMAIN FOR EACH PHASE AND UPON COMPLETION OF FINAL PHASE WITH MINIMAL DISRUPTION OF BUILDING OPERATIONS.

10. ALL COLUMN ENCLOSURES TO BE DEMOLISHED AND PREPARED FOR NEW ENCLOSURES.

11. DEMOLISH ALL DRAPERIES AND WALL HARDWARE EXCEPT ROLLER SHADES. PATCH AND REPAIR EXTERIOR WALL TO RECEIVE NEW FINISHES.

12. ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED, PLASTERED AND BE PROPERLY MEMBERED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR.

13. REMOVE ALL EXISTING CHAIR RAIL, BORDER TRIM AND WALL PROTECTION WITHIN PROJECT AREA. PATCH AND REPAIR EXISTING WALLS AS REQUIRED TO RECEIVE NEW FINISHES.

14. REMOVE ALL EXISTING DOORS AND HARDWARE, FLOOR AND WALL MOUNTED DOOR STOPS, WITHIN THE PROJECT AREA AND PREPARE EXISTING FRAMES FOR NEW DOORS.

15. REMOVE ALL ITEMS MARKED-UP BY THE OWNER AS OWNER'S SALVAGE. TRANSPORT ITEMS TO OWNER'S DESIGNATED STORAGE AREA(S).

GENERAL CONTRACTOR RESPONSIBILITIES WITH REGARD TO EXISTING CONDITIONS NOTES

1. THE CONTRACTOR OR CONSTRUCTION MANAGER AND AFFECTED SUBCONTRACTORS SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID PROPOSAL. THE CONTRACTOR SHALL BECOME GENERALLY FAMILIAR WITH THE PROJECT, AND WITH THE IMPACT OF THE NEW WORK ON THE EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID/PROPOSAL.

2. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE NEW WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATION OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN FROM DRAWINGS SUPPLIED BY OWNER AND HAS BEEN FURTHER SUPPLEMENTED WITH FIELD-MEASUREMENTS AND OBSERVATIONS. THE INFORMATION CONTAINED IN THESE DRAWINGS, WITH REGARD TO THE EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES THE GENERAL CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS AND BENCHMARKS, MATERIALS AND METHODS OF CONSTRUCTION THAT MAY AFFECT OR BE AFFECTED BY NEW WORK, AND TO COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

3. FIELD-VERIFICATION OF EXISTING CONDITIONS RELATED TO SPECIFIC PORTIONS OF THE WORK SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.

4. THE AREAS ADJACENT TO THE PROJECT ARE CURRENTLY OCCUPIED, AND MUST REMAIN COMPLETELY OPERATIONAL DURING THEIR NORMAL BUSINESS HOURS. COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY IMPEDE THEIR NORMAL OPERATIONS, INCLUDING ANY ACTIVITY WHICH CREATES EXCESSIVE NOISE. NOTIFY ANY OCCUPANTS OF THE BUILDING OF ANY CONSTRUCTION ACTIVITIES WHICH MAY AFFECT THEIR ABILITY TO OPERATE NORMALLY.

5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.

6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER TO IDENTIFY EXISTING COMPONENTS AND ASSEMBLIES WITHIN THE BUILDING THAT ARE CONSTRUCTED AS FIRE-RATED ASSEMBLIES. NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

7. CONTRACTOR TO MAINTAIN ALL MEANS OF EGRESS FOR DURATION OF CONSTRUCTION. WORK INCLUDES CONSTRUCTION OF FIRE RATED, DUST PROOF TEMPORARY PARTITIONS, AND COVERED WALKS TO PUBLIC WAY AS REQUIRED BY REGULATIONS AND BUILDING CODES.

8. CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.

9. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO OWNER OCCUPIED AREAS ADJACENT TO NEW CONSTRUCTION OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED AND IS RESPONSIBLE FOR DAMAGE CAUSED BY CONTRACTOR/SUB CONTRACTOR, OR ADVERSE WEATHER CONDITIONS, INCLUDING RAIN AND WIND.

F1 FIRST FLOOR - DEMOLITION PLAN
1/8" = 1'-0"

INSTRUCTIONS TO BIDDERS

REMOVAL OF ASBESTOS CONTAINING MATERIALS AND MASTIC SHALL BE BID BY IDENTIFYING UNIT PRICING FOR EACH.

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

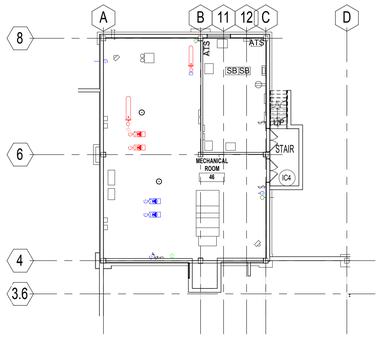
Project Number	Scale
3627	As indicated

Drawing Title	FIRST FLOOR DEMOLITION PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AD110
Dwg. 14 of 86	

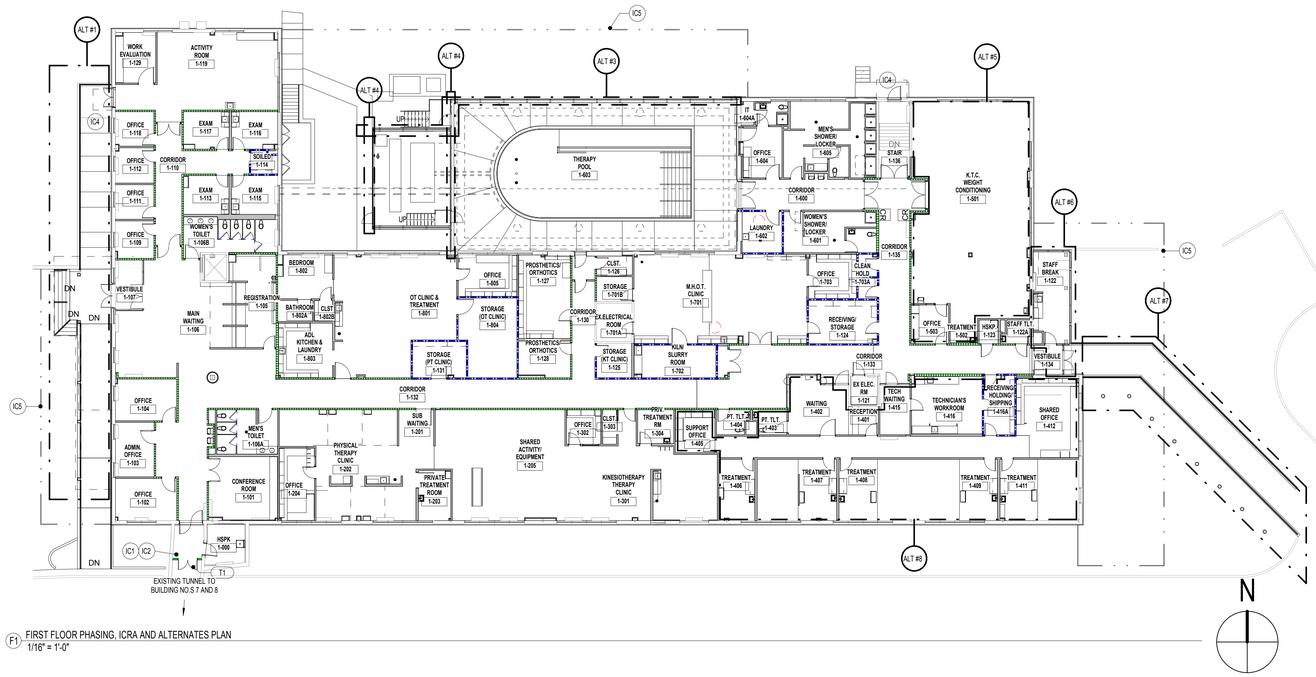
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



C1 BASEMENT PHASING AND ICRA PLAN
1/16" = 1'-0"



F1 FIRST FLOOR PHASING, ICRA AND ALTERNATES PLAN
1/16" = 1'-0"

ICRA GENERAL NOTES

1. PROVIDE INFECTION CONTROL PRECAUTIONS / CONTAINMENT SYSTEM AS REQUIRED BY HOSPITAL INFECTION CONTROL REPRESENTATIVE FOR ALL AREAS OUTSIDE THE LIMIT OF WORK.

ICRA AND PHASING KEYNOTES

- IC1 PROVIDE TEMPORARY CONSTRUCTION/INFECTION VESTIBULE PER PARTITION TYPE SEE SHEET AE621. PARTITION TO EXTEND TO UNDERSIDE OF DECK.
- IC2 PROVIDE TEMPORARY DOOR WITH GASKETING TO PREVENT THE MOVEMENT OF DUST.
- IC3 NOT USED.
- IC4 CLOSE AND LOCK DOOR TO PREVENT THE MOVEMENT OF DUST.
- IC5 PROVIDE METAL CHAINLINK FENCE AND GATE TO CONTAIN CONSTRUCTION ZONE. MOUNT VA SIGNAGE REQUIREMENTS PER DETAILS F2/GI001 AND F4/GI001. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.

DEDUCT ALTERNATES

ALT #1 ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3 ft deep concrete footings (see structural). Provide metal panel fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Add one (1) wythe brick to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigd insulation at exterior side of CMU.

ALT #5 ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5' deep by 6' wide sidewalk on compacted fill with turned-down edge at South and Southwest sides. Provide 2.5 " OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide ventilation supply and exhaust ductwork demolition and installation.

INFECTION CONTROL RISK MITIGATION RECOMMENDATIONS MATRIX OF PRECAUTIONS FOR CONSTRUCTION AND RENOVATION

Type of Construction / Project Activity Table

TYPE A	Inspection and Non-Invasive Activities Includes, but is not limited to: - removal of ceiling tiles for visual inspection limited to 1 tile to 50 square feet - painting (but not sanding), wall covering - electrical trim work, minor plumbing, and activities which do not generate dust or require cutting of walls or access to ceilings other than for visual inspection
TYPE B	Small scale, short duration activities which create minimal dust Includes, but is not limited to: - installation of telephone and computer cabling - access to chase spaces - cutting of walls or ceiling where dust migration can be controlled
TYPE C	Work that generates a moderate to high level of dust or requires demolition or removal of any fixed building components or assemblies Includes, but is not limited to: - sanding of walls for painting or wall covering - removal of floor coverings, ceiling tiles and casework - new wall construction - minor duct work or electrical work above ceilings - major cabling activities - any activity which cannot be completed within a single work shift
TYPE D	Major demolition and construction projects Includes, but is not limited to: - activities which require consecutive work shifts - requires heavy demolition or removal of a complete ceiling system - new construction

Patient Risk Group Table

Group 1 Low Risk	Group 2 Medium Risk	Group 3 High Risk	Group 4 Highest Risk
- Office areas (non-clinical)	- Cardiology - Echocardiology - Endoscopy - GI - Physical Therapy - Radiology/MRI - Nuclear Medicine - Respiratory Care (except bronchoscopy area) - Cafeteria - Outpatient areas- clinics and offices (exception: transplant and oncology)	- Emergency Room - Post Anesthesia - Care Units - Labor and Delivery - Pediatrics - Admission/Discharge area - Laboratories - Pharmacy - Inpatient units (not otherwise specified) at all AEHN locations	- All Operating Rooms including Labor and Delivery - Anesthesia and Pump areas - Central Equipment/Sterile Supply - Cardiac Catheterization and Angiography Areas - Interventional Radiology - Radiation Oncology - All Intensive Care Units - Newborn Nurseries, including NICU - Dialysis Unit - Oncology - inpatient & outpatient - Transplant - inpatient & outpatient - Pharmacy Admixture - Negative Pressure Isolation Rooms/areas (including bronchoscopy area)

Infection Control Matrix - Class of Precautions: Construction Project by Patient Risk

Patient Risk Group	Construction Project Type TYPE A	TYPE B	TYPE C	TYPE D
LOW Risk Group 1	I	II	II	III/IV
MEDIUM Risk Group 2	I	II	III	IV
HIGH Risk Group 3	I	III	III/IV	IV
HIGHEST Risk Group 4	III	III/IV	III/IV	IV

Note: Infection Control approval will be required when the Construction Activity and Risk Level indicate that Class III or Class IV control procedures are necessary.

It is the Contractor's Responsibility to provide the following Infection Control Precautions depending upon the Area Class Designation

	During Construction Project	Upon Completion of Project
CL- I	1. Execute work by methods to minimize raising dust from construction operations. 2. Immediately replace a ceiling tile displaced for visual inspection.	1. Wipe surfaces to remove dust.
CLASS II	1. Includes all activities required by Class I 2. Provide active means to prevent airborne dust from dispersing into atmosphere. 3. Water mist work surfaces to control dust while cutting. 4. Seal unused doors with duct tape. 5. Block off and seal air vents. 6. Replace adhesive walk-off mats at entrance and exit of work area. Replace used mats in accordance with manufacturer's recommendations. 7. Remove or isolate HVAC system in area where work is being done to prevent contamination of duct system.	1. Wipe work surfaces with disinfectant. 2. Contain construction waste before transport in tightly covered containers. 3. Wet mop and/or vacuum work area with HEPA filtered vacuum before leaving work areas. 4. Remove isolation of HVAC system in areas where work is being performed.
CLASS III	1. Includes all activities required by Class II 2. Obtain Infection Control Permit from Hospital Safety Officer or Facilites Management Maintenance and Engineering department before construction begins. 3. Remove or isolate HVAC system in area where work is being done to prevent contamination of duct system. 4. Complete all critical barriers before construction begins or implement control cube method. 5. Maintain negative air pressure within work site utilizing HEPA-equipped air filtration units. 6. Contain construction waste before transport in tightly covered containers. 7. Cover transport receptacles or carts. Tape covers. 8. Wet mop and/or vacuum with HEPA filtered vacuum before leaving work areas. 9. Remove isolation of HVAC system in areas where work is being performed.	1. Remove barrier materials carefully to minimize spreading of dirt and debris associated with construction. 2. Contain construction waste before transport in tightly covered containers. 3. Cover transport receptacles or carts. Tape covering. 4. Vacuum work with HEPA-filtered vacuums. 5. Wet mop with disinfectant. 6. Remove isolation of HVAC system in areas where work is being performed.
CLASS IV	1. Includes all activities required by Class III 2. Obtain Infection Control Permit from Hospital Safety Officer or Facilites Management Maintenance and Engineering department before construction begins. 3. Isolate HVAC system in areas where work is being done to prevent contamination of duct system. 4. Complete all critical barriers or implement control cube method before construction begins. 5. Maintain negative air pressure within work site utilizing HEPA equipped air filtration units. 6. Seal holes, pipes, conduits, and punctures appropriately. 7. Construct anteroom and require all personnel to pass through this room so they can be vacuumed sing a HEPA vacuum cleaner before leaving work site or they can wear cloth or paper coveralls that re removed each time they leave the work site. 8. All personnel entering work site are required to wear shoe covers. Shoe covers must be changed each ime the worker exits the work area. 9. Place adhesive walk-off mats at entrance to work area within anteroom. 10. Replace per manufacturer's recommendations. Do not remove barriers from work area until completed project is inspected each by the Hospital Safety Officer, Facilites Management Maintenance and Engineering Department and thoroughly cleaned by the Hospital Environmental Services Department or their contracted Environmental Service Company Contain construction waste before transport in tightly covered containers. 11. Cover transport receptacles or carts. Tape covering 12. Vacuum work area with HEPA filtered vacuums. 13. Wet mop with disinfectant after barriers are removed. 14. Remove isolation of HVAC system in areas where work is being performed.	1. Remove barrier materials carefully to minimize spreading of dirt and debris associated with construction. 2. Contain construction waste before transport in tightly covered containers. 3. Cover transport receptacles or carts. Tape covering 4. Vacuum work area with HEPA filtered vacuums. 5. Wet mop area with disinfectant after barriers are removed. 6. Remove or isolate HVAC system in areas where work was being performed.

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR PHASING, ICRA AND ALTERNATES PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: AE002

Dwg. 15 of 86

Office of Facilities Management

Department of Veterans Affairs

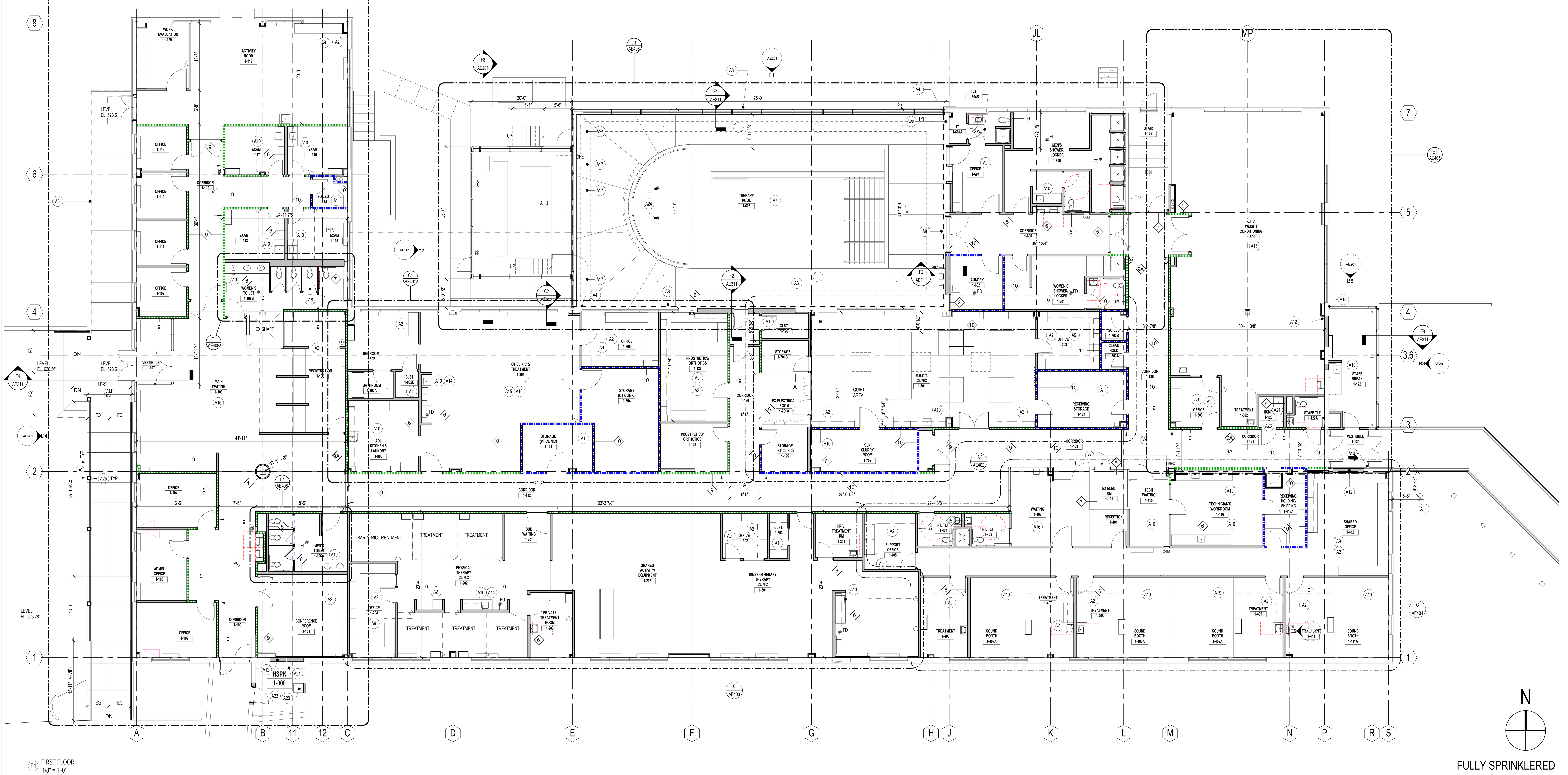
VA FORM 08-6231, OCT 1978

ARCHITECTURAL KEYNOTES

- A1 CONTRACTOR TO PROVIDE SHELF. LENGTH AS SHOWN IN PLAN, DEPTH AS SHOWN IN DETAIL B3 ON SHEET AE632.
- A2 PROVIDE SILICONE SEALANT AT JUNCTION OF WALL AND CASEWORK.
- A3 PREFABRICATED POOL ENCLOSURE. MANUFACTURER FOR BASIS OF DESIGN - PEI.
- A4 CONTRACTOR TO SEAL POOL ENCLOSURE TO MASONRY WITH SEALER.
- A5 CONTRACTOR TO INSTALL NEW RAILING AT MODIFIED CONCRETE RAMP.
- A6 PORTABLE POOL LIFT. B.O.D.: SRSMITH SPLASH! SERIES. MODEL NUMBER-390-000. REFER TO AQUATIC DRAWINGS FOR MORE INFORMATION.
- A7 THERAPY POOL TO BE 5'-0" DEEP. POOL DESIGN BY OTHERS. REFER TO VENDOR DRAWINGS.
- A8 CONTRACTOR TO PROVIDE EXPANSION JOINT.
- A9 CONTRACTOR TO PROVIDE SOLID POLYMER WORK COUNTER. LAYOUT AS SHOWN IN PLAN, DEPTH TO BE 2'-1", UNLESS NOTED OTHERWISE.
- A10 PROVIDE SILICONE SEALANT AT JUNCTION OF WALL SURFACE WITH ALL PLUMBING FIXTURES AND COUNTERTOPS.
- A11 CONTRACTOR TO FURNISH AND INSTALL CONCRETE LIGHT BOLLARDS.
- A12 CONTRACTOR TO INFILL EXISTING WALL WITH BRICK AND CONCRETE BLOCK TO MATCH EXISTING WALL. REFER TO ELECTRICAL FOR FIXTURE SELECTION.
- A13 CONTRACTOR TO PROVIDE EXTERIOR WALL EXPANSION JOINT. SEE SPECIFICATIONS SECTION 079500 FOR TYPE.
- A14 SINK WITH FOOT OPERATING PEDAL. PROVIDE HOSE CONNECTION AT SINK.
- A15 PROVIDE HOOK UP FOR EMERGENCY ALARM SYSTEM.
- A16 PROVIDE HOOK UP FOR AUDIO SYSTEM IN CLINIC.
- A17 2'-0" X 6'-0" WIRE STORAGE RACKS, NOT IN CONTRACT.
- A18 PRIVATE STAFF STALL. PROVIDE LOCK.
- A19 PROVIDE POWER AND DATA CONNECTIONS IN BOOTH. TESTER SIDE. COORDINATE WITH SOUND BOOTH SELECTED BY VA.
- A20 COORDINATE LOCATION WITH EXISTING PLUMBING HOOK UP.
- A21 PROVIDE 24" STAINLESS STEEL UTILITY SHELF.
- A22 PATCH AND REPAIR EXISTING BRICK WALL IN KIND IN ALL HOLES AND CRACKS IN EXISTING BRICK.
- A23 PROVIDE METAL SHELVING, TYPE 45.
- A24 POOL DRAIN. REFER TO PLUMBING AND AQUATIC DRWAINGS FOR MORE INFORMATION.
- A25 CONTINUOUS HANDRAIL.

GENERAL NOTES

1. TOILET, LOCKER & SHOWER ROOM TO BE BLOCK WALL. ALL OTHER AREAS TO BE GYPSUM WALL - 6" ABOVE CEILING.
2. CLINIC DEPARTMENT TO BE BLOCK WALL UP TO DECK.
3. ALL COLUMN ENCLOSURES TO BE GYPSUM WALL BOARD TO DECK.
4. ALL WALLS TO BE TYPE 5 UNLESS NOTED OTHERWISE, U.N.O.
5. REFER TO SHEET AE002 FOR DESCRIPTION OF ALTERNATES.
6. SEE SHEET AE621 FOR PARTITION TYPES.



F1 FIRST FLOOR
1/8" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number: 3627
Scale: As indicated

Drawing Title: FIRST FLOOR ARCHITECTURAL AND DIMENSION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13 | Checked: TN | Drawn: BG

VA Project Number: 542-CSI-203

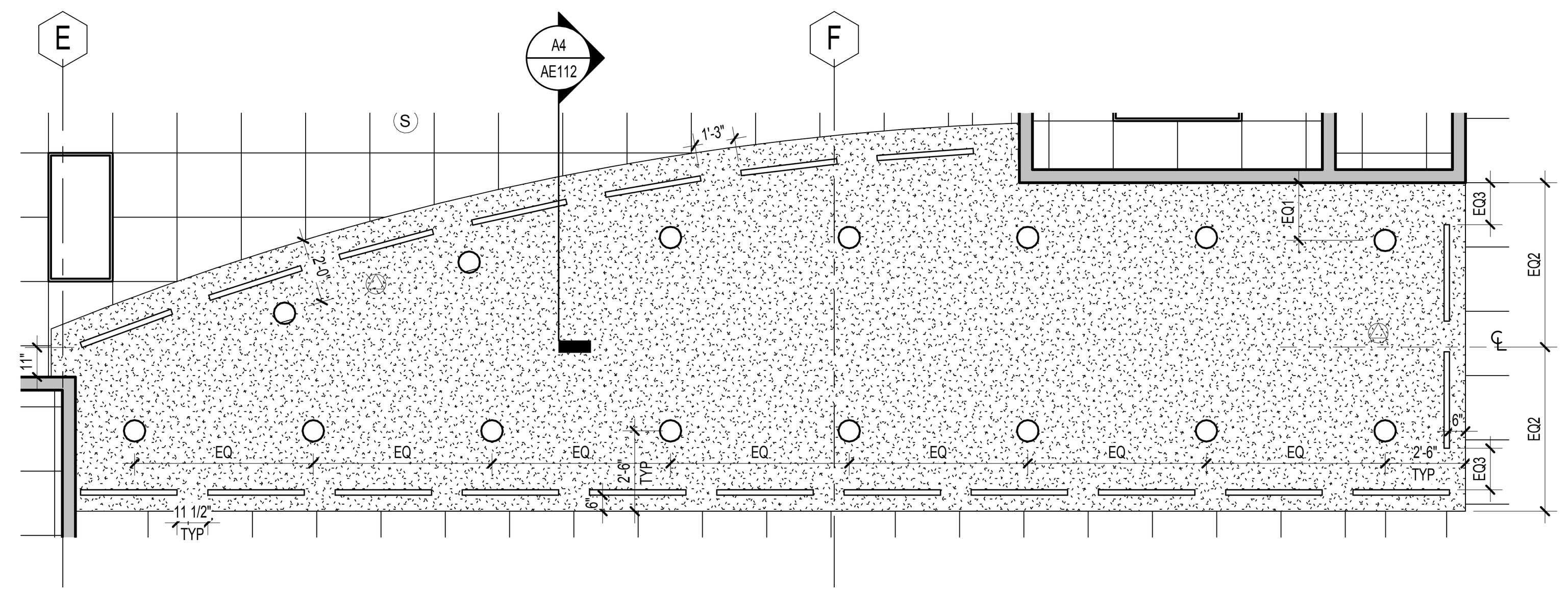
Building Number: 69

Drawing Number: AE111

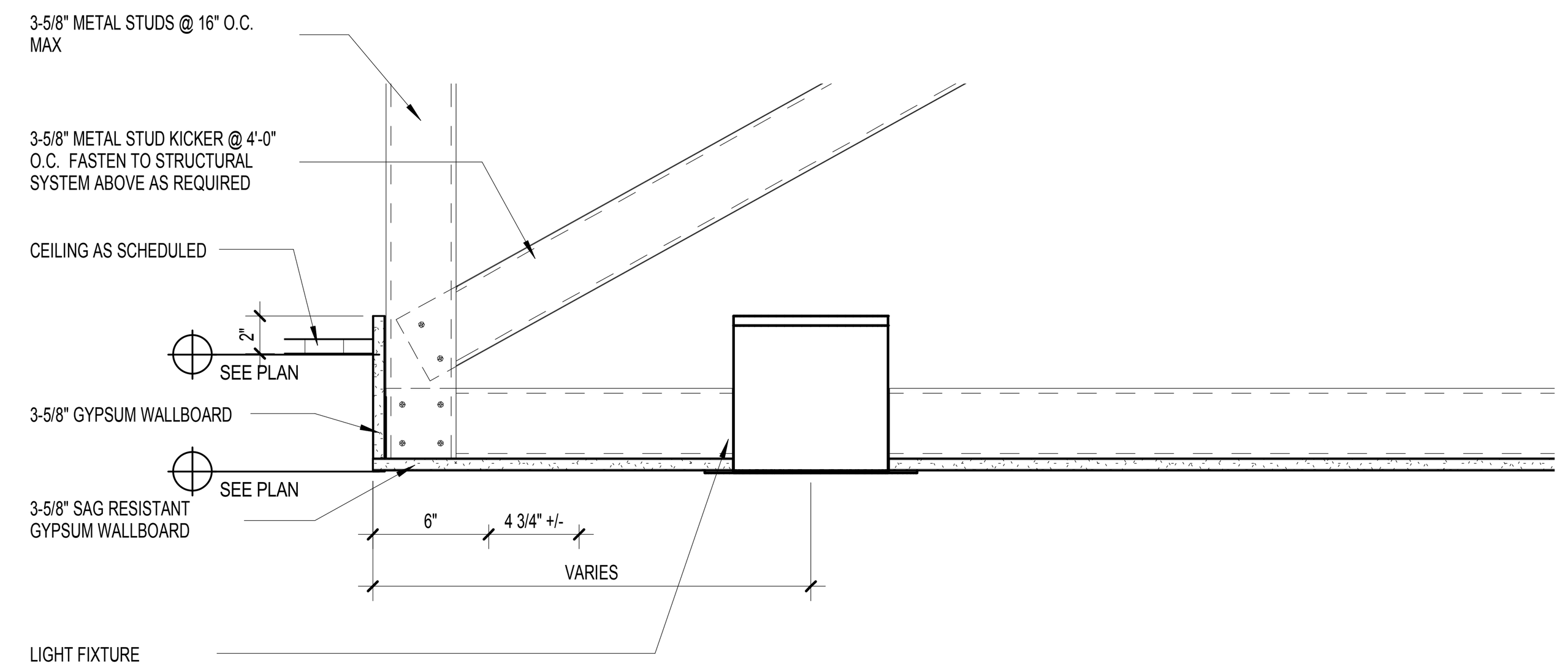
Dwg. 16 of 86

Office of Facilities Management

Department of Veterans Affairs



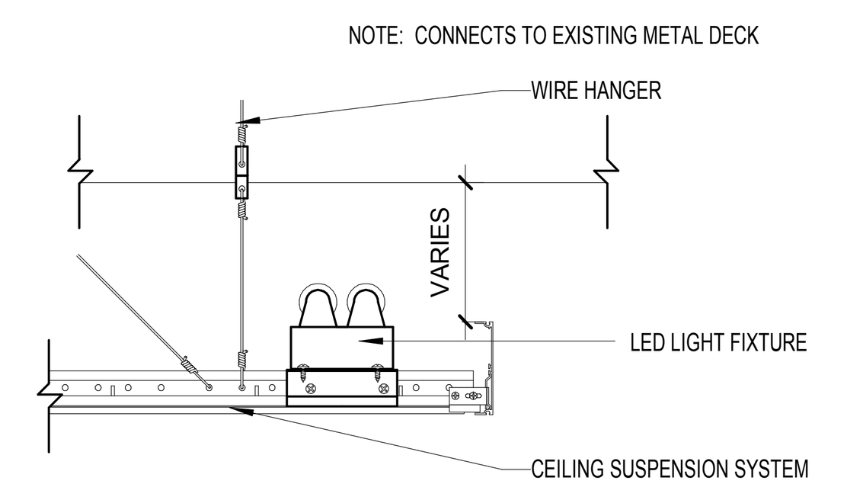
A1 ENLARGED REFLECTED CEILING PLAN - SHARED EQUIPMENT ROOM
1/4" = 1'-0"



A4 CEILING SECTION
1 1/2" = 1'-0"

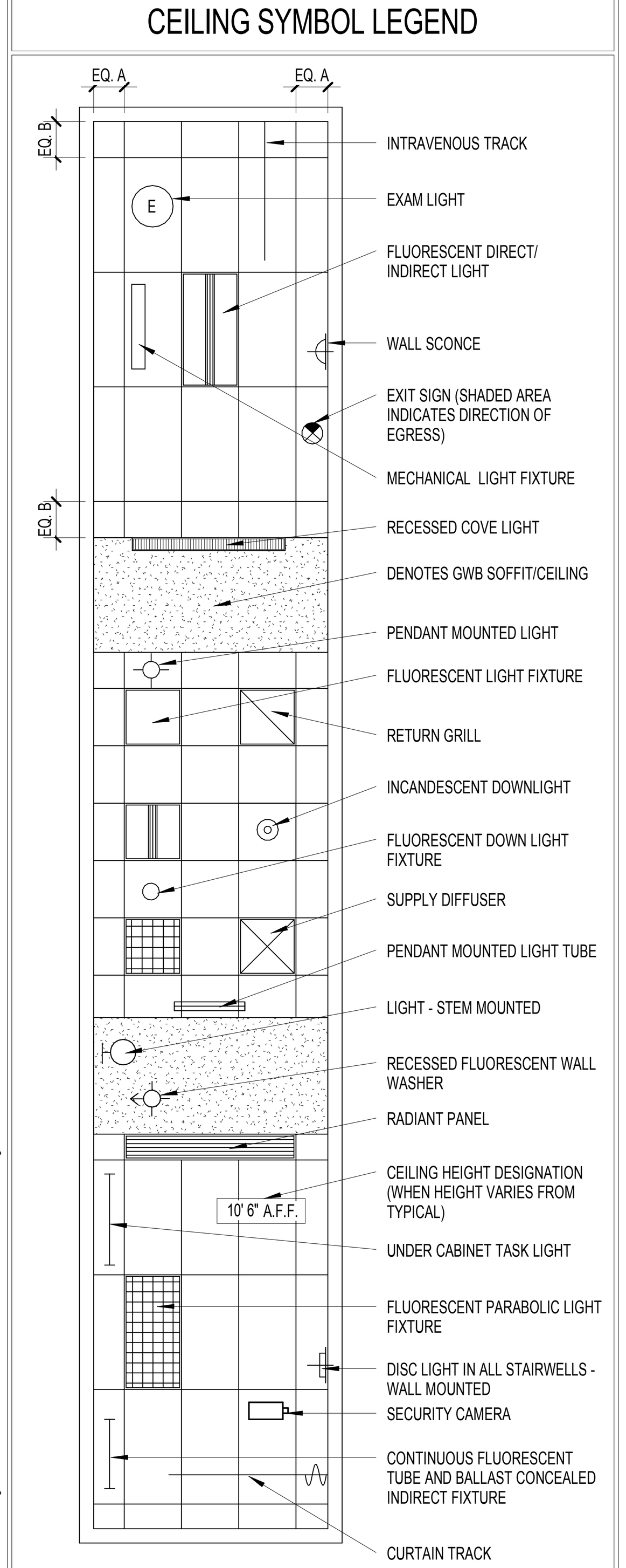
CEILING GENERAL NOTES

1. ALL CEILINGS TO BE 9'-6" MIN. 10'-0" WHERE POSSIBLE. UNLESS NOTED OTHERWISE.
2. CEILINGS ARE TO BE BUILT AROUND SKYLIGHTS OVER MENTAL HEALTH OCCUPATIONAL THERAPY.
3. ALL AREAS TO BE 2' X 2' ACT CEILINGS, UNLESS NOTED OTHERWISE.
4. ALL HVAC DIFFUSERS TO BE CENTERED ON TILES.
5. ALL SPRINKLER HEADS TO BE CENTERED ON TILES.
6. ALL GYPSUMBOARD SOFFITS TO BE 7'-10", U.N.O.



B7 SOFFIT DETAIL @ AXIOM TRIM
1 1/2" = 1'-0"

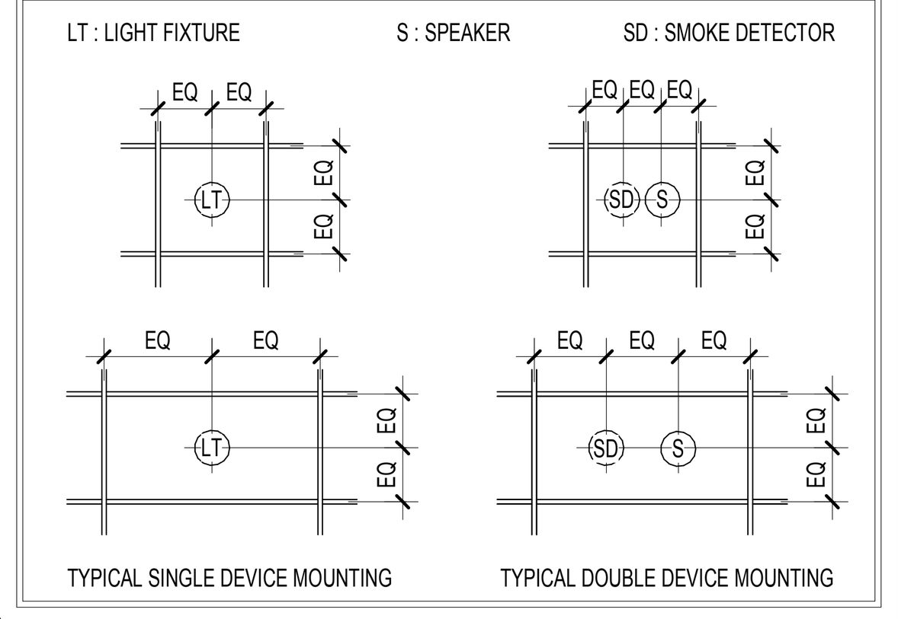
CEILING SYMBOL LEGEND



CEILING CONTRACTOR TO MEASURE EACH CEILING AREA AND ESTABLISH A CEILING LAYOUT TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH ROOM. AVOID USE OF LESS-THAN 6" TILES.

FIXTURE MOUNTING MATRIX

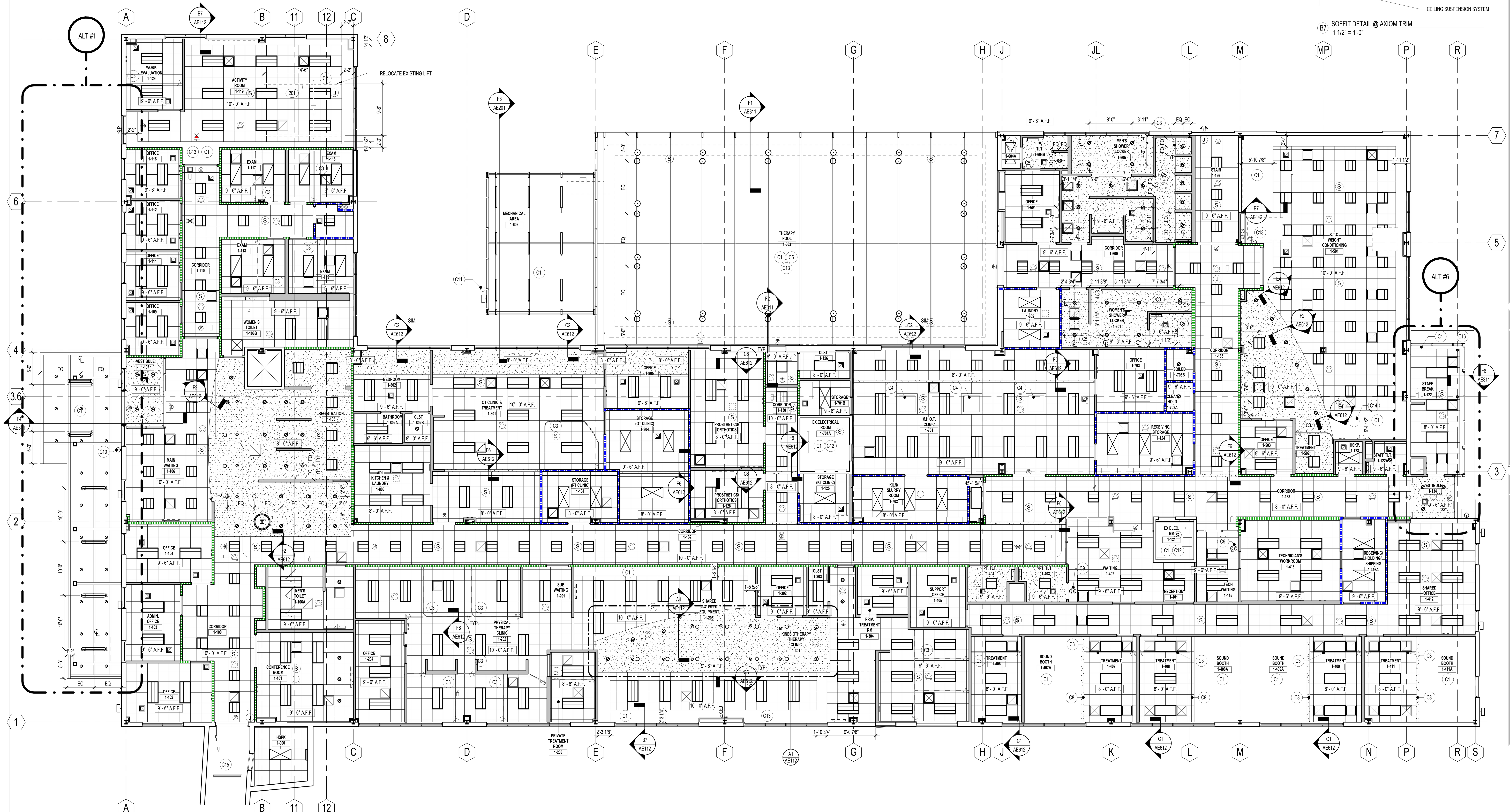
LT : LIGHT FIXTURE S : SPEAKER SD : SMOKE DETECTOR



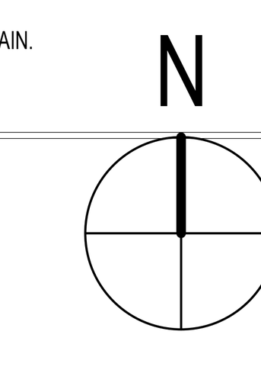
TYPICAL SINGLE DEVICE MOUNTING TYPICAL DOUBLE DEVICE MOUNTING

REFLECTED CEILING PLAN KEYNOTES

- C1 CEILING TO BE EXPOSED. REFER TO FINISH PLAN FOR MORE INFORMATION.
- C2 CONTRACTOR TO SUPPLY AND INSTALL UNISTRUT SUPPORT SYSTEM EQUIPMENT RAILS, MOUNTING PLATES ETC. TO SUPPORT LIFT EQUIPMENT. SEE DETAILC8/AE612 AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- C3 ALL CURTAIN TRACKS SHALL BE SUPPORTED INDEPENDENT OF THE CEILING AND SUSPENSION SYSTEM. SEE DETAIL F8 ON SHEET AE612.
- C4 INSTALL NEW SKYLIGHTS. SEE DETAILS D1 & D2 ON SHEET AE601.
- C5 INSTALL WATER RESISTANT LIGHT FIXTURES IN ROOM.
- C6 DECORATIVE WOODLOOK PANEL CEILING SCULPTURE.
- C7 LED LIGHT FIXTURE.
- C8 COORDINATE HEIGHT OF SOFFIT WITH SIZE AND HEIGHT OF SOUND BOOTH SELECTED BY VA.
- C9 CLOSED CIRCUIT TV CAMERA. COORDINATE LOCATION OF CONNECTION WITH VA.
- C10 ALTERNATE: PROVIDE EXTERIOR WALL MOUNTED LIGHT FIXTURE IF ALTERNATE #1 IS NOT CONSTRUCTED.
- C11 PROVIDE EXTERIOR WALL MOUNTED LIGHT FIXTURE.
- C12 EXISTING LIGHT FIXTURE TO REMAIN. PROVIDE NEW BULBS FOR FIXTURE.
- C13 PAINT ALL EXPOSED PIPING/DUCTWORK. COORDINATE WITH BKM PROJECT.
- C14 PROVIDE STRUCTURAL SUPPORTS/BRACING. COORDINATE WITH STRUCTURAL DRAWINGS.
- C15 EXISITNG CEILINGS & FIXTURES TO REMAIN.
- C16 METAL PANELS (EXTERIOR)



F1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER:

Bray Mooney Consulting

Project Number: 3627
Scale: As indicated

Drawing Title: FIRST FLOOR REFLECTED CEILING PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

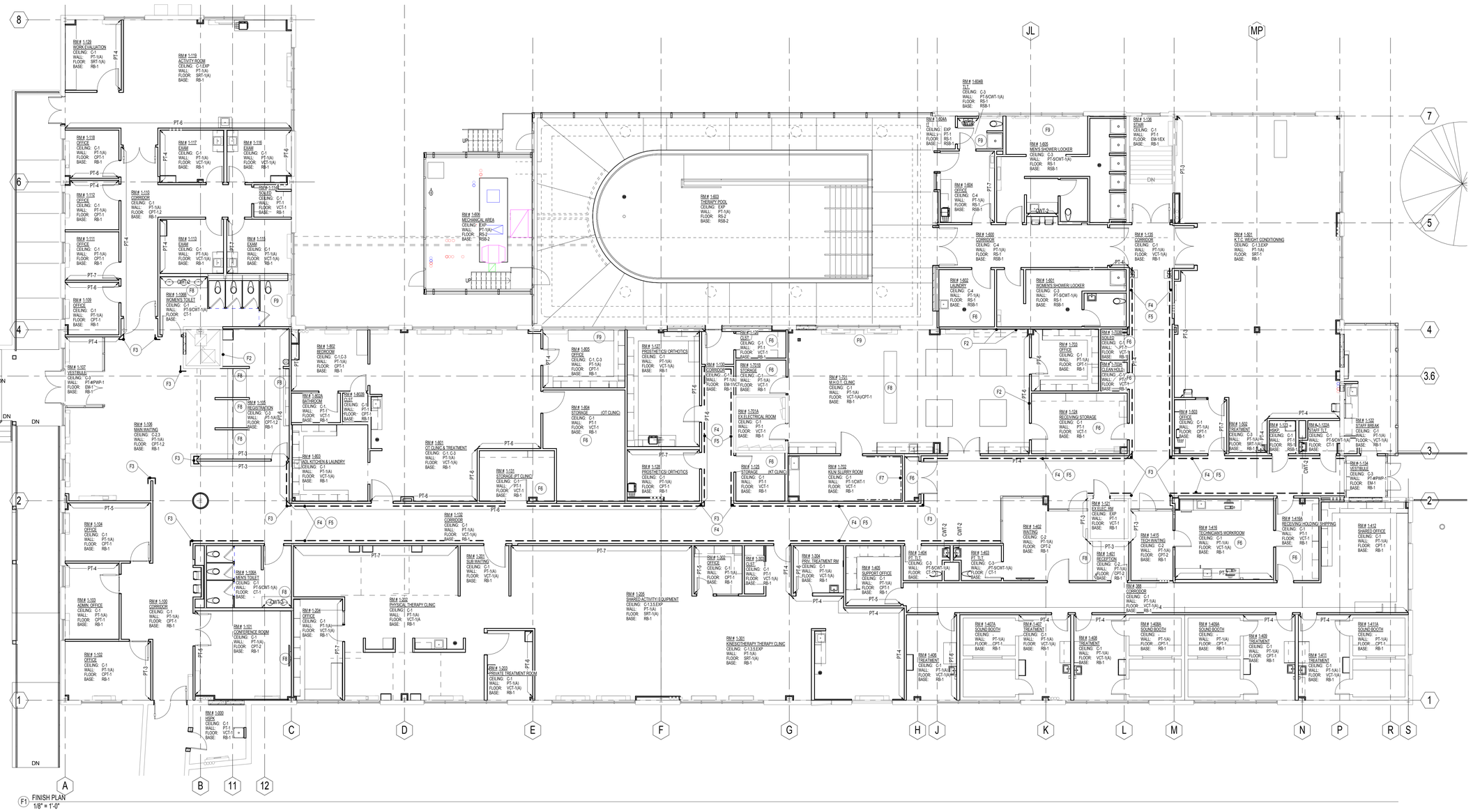
Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13
Checked: TN
Drawn: BG

VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: AE112
Dwg. 17 of 86

Office of Facilities Management

Department of Veterans Affairs



F1 FINISH PLAN
1/8" = 1'-0"

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

FINISH GENERAL NOTES

1. WHEN AN (A) IS IN THE FINISH TAG IT REFERS TO AN ACCENT FINISH. SEE THE FINISH / FLOOR PATTERN PLANS OR ELEVATIONS FOR TYPE AND LOCATION.
2. TYPICAL ROOM FINISH ARE C-1 / PT-1(A) / VCT-1(A) / RB-1.
3. HANDRAIL AND BUMPER RAIL TO RUN CONTINUOUSLY FROM DOOR BUCK TO DOOR BUCK, TERMINATING AT ALL VERTICAL INTERRUPTIONS.
4. CORNER GUARDS TO BE INSTALLED ON ALL OUTSIDE CORNERS THROUGHOUT LIMIT OF WORK. SEE FINISH SCHEDULE FOR MORE INFORMATION.
5. FLASH PATCH FLOORING AS REQUIRED TO PROVIDE A FLUSH TRANSITION AT ALL DIFFERENT FLOORING MATERIALS.
6. ALL GWB SOFFITS ARE TO BE PAINTED. FASCIA AND UNDERSIDE ARE TO MATCH. PROVIDE FRY REGLET REVEALS AS A MATERIAL OR COLOR TRANSITION. GWB SOFFITS ARE NEVER TO RECEIVE VINYL WALL COVERING.
7. ALL FURNITURE AND FURNITURE PANELS ARE N.I.C., UNLESS NOTED OTHERWISE.
8. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ITEMS REQUIRING FINISH SELECTIONS THAT ARE NOT CLARIFIED IN THE CONTRACT DOCUMENTS.
9. ALL COUNTERTOPS TO BE SOLID SURFACE POLYMER.
10. CEILING ACCESS PANELS, HVAC DIFFUSERS/GRILLES SHALL BE WHITE UNLESS NOTED OTHERWISE.

FINISH KEYNOTES

- F1 ALL EXISTING WALL SURFACES TO REMAIN ARE TO BE PREPARED TO RECEIVE NEW WALL FINISH. SEE FINISH PLANS FOR EXTENT, TYPICAL.
- F2 4' x 8' FABRIC WRAPPED PANEL. INSTALLATION HEIGHT TBD.
- F3 CG-1
- F4 HR-1
- F5 BG-1
- F6 PWP-1 TO BE INSTALLED ON ALL WALLS WITHIN SPACE
- F7 CWT-1 TO BE INSTALLED TO 5'-0" A.F.F.
- F8 MILLWORK TO BE PL-1 AND SSP-1
- F9 INSTALL WF-1 ON EXTERIOR WINDOWS

INTERIOR FINISH MATERIAL CODES

CODE	MATERIALS
AWP	ARCHITECTURAL WALL PANELS
BG	BUMPER GUARD
C	CEILING
CC	CUBICLE CURTAIN FABRIC
CG	CORNER GUARD
CPT	CARPET
CR	CHAIR RAIL
CT	CERAMIC FLOOR TILE
CTB	CERAMIC FLOOR TILE BASE
CWT	CERAMIC WALL TILE
CWTB	DECORATIVE GLAZING
DPG	DECORATIVE PLASTIC GLAZING
DWS	DECORATIVE WALL SYSTEM
EP	EPOXY PAINT
EM	ENTRANCE MAT
EX	EXISTING
EXP	EXPOSED STRUCTURE
FWC	FABRIC WALL COVERING
FWP	FABRIC WRAPPED PANEL
HR	HAND RAIL
KP	KICK PLATE
PE	POURED EPOXY FLOORING
PEB	POURED EPOXY INTEGRAL BASE
PL	PLASTIC LAMINATE
PT	PAINT
PWP	PLASTIC WALL PROTECTION
QS	QUARRY SLAB
QT	QUARRY TILE
QTB	QUARRY TILE BASE
RB	RUBBER BASE
RD	RUBBER DISC FLOORING
RM	RESILIENT MOLDING
RT	RESILIENT TILE
RST	RUBBER STAIR TREADS
RS	RESINOUS FLOORING
RSB	RESINOUS FLOORING INTEGRAL BASE
S	STAIN/COLORWASH
SC	SEALED CONCRETE
SG	SEMI-GLOSS PAINT
SL	SHEET LINOLEUM
SLB	SHEET LINOLEUM BASE
SP	SOLID PLASTIC
SPC	SPECIALTY PAINT COATING
SR	SEAMLESS RUBBER FLOORING
SRT	SOLID RUBBER TILE
SRB	INTEGRAL SEAMLESS RUBBER BASE
SRVT	SLIP RESISTANT VINYL TILE
SSP	SOLID SURFACE POLYMER
STN	STONE FLOORING
STNB	STONE FLOOR BASE
SV	SEAMLESS VINYL FLOORING
SVB	INTEGRAL SEAMLESS VINYL BASE
SVWP	SOLID VINYL WOOD PLANKS
TWP	TACKABLE WALL PANEL
TZ	TERRAZZO FLOORING
V	VINYL WALL COVERING
VB	VINYL BASE
VBWF	VINYL BONDED WOOD FLOORING
VCT	VINYL COMPOSITION TILE
WDB	WOOD BASE
WG	WALL GUARD
WM	WOOD MOLDINGS/STANDING AND RUNNING TRIM
WP	WOOD PANELING
WS	WALL SCONCE
WT	WINDOW TREATMENT

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

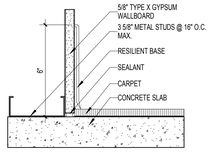
Project Number	Scale
3627	As indicated

Drawing Title	FIRST FLOOR FINISH PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	JTM
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE113
Dwg. 18 of 86	

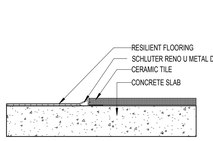
Office of Facilities Management

Department of Veterans Affairs

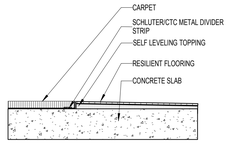
VA FORM 08-6231, OCT 1978



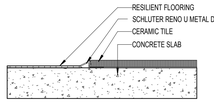
A1 RESILIENT BASE DETAIL AT CARPET
3" = 1'-0"



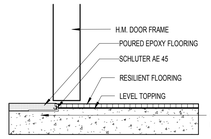
A2 RESILIENT FLOORING CERAMIC TILE
3" = 1'-0"



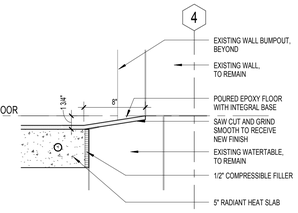
A3 CARPET TO RESILIENT FLOORING
3" = 1'-0"



A4 RESILIENT FLOORING TO CERAMIC TILE
3" = 1'-0"



A5 RESILIENT FLOORING TO RESINOUS FLOORING
3" = 1'-0"



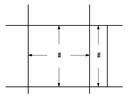
B6 DETAIL @ INTEGRAL EPOXY BASE
1 1/2" = 1'-0"

FLOOR PATTERN LEGEND

TILE AREA SYMBOL

INDICATES ENTIRE AREA INSIDE THE BOLD LINES TO RECEIVE TILE ACCENT COLOR

SHEET GOODS AREA SYMBOL



INDICATES ENTIRE AREA INSIDE THE BOLD LINES TO RECEIVE ACCENT COLOR

NOTES:

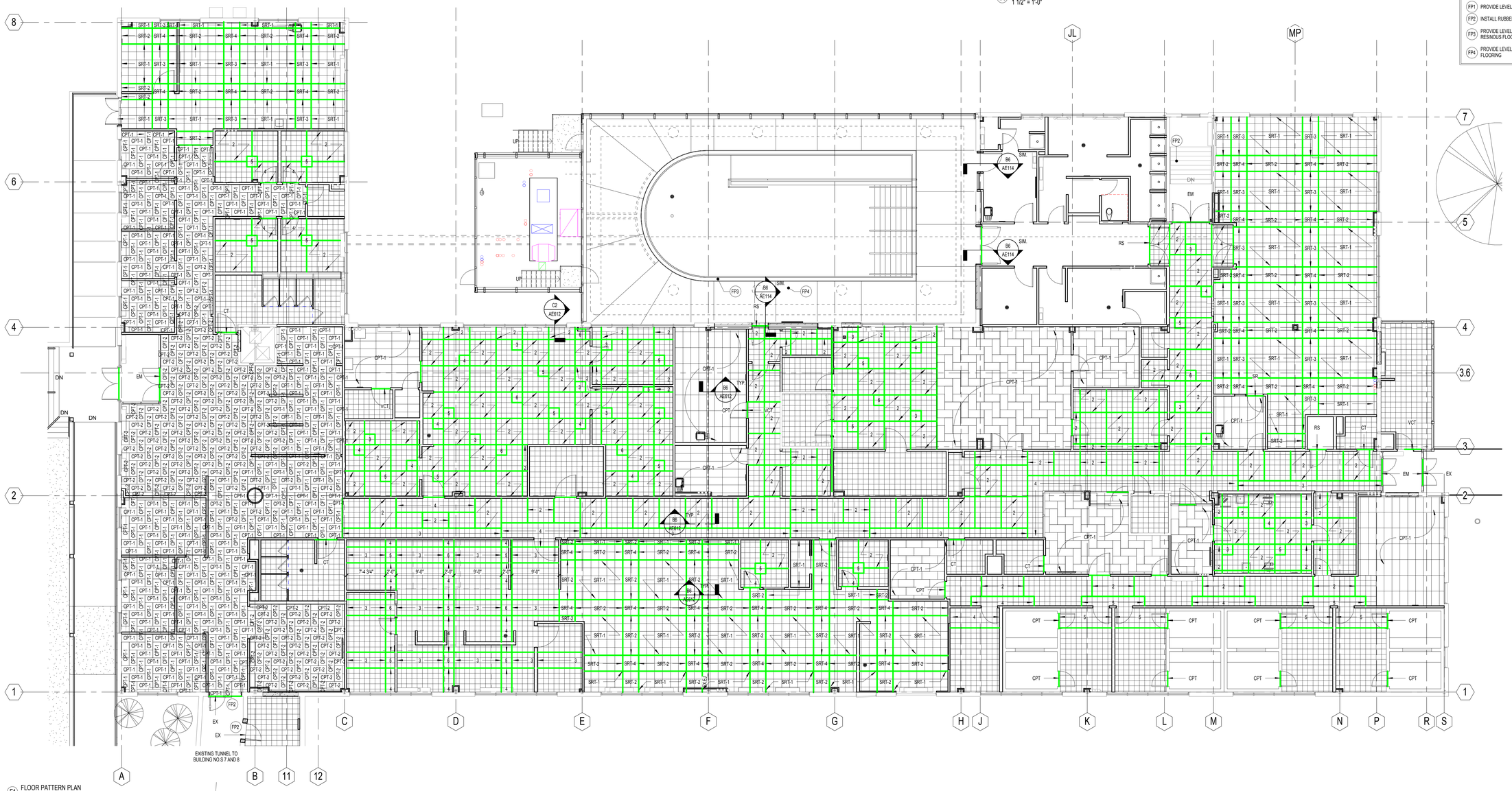
1. INDICATES FULL TILE.
2. SEE FINISH SCHEDULE FOR FINISH CODE, STYLE AND MATERIAL INFORMATION.
3. ONLY ACCENT TILE/SHEET GOODS NUMBERS ARE SHOWN ON PLANS. ASSUME STYLE 1 AS MAIN FIELD UNLESS NOTED OTHERWISE.

FLOOR PATTERN GENERAL NOTES

1. PRIOR TO ORDERING MATERIAL, CONTRACTOR SHALL SUBMIT TO ARCHITECT COORDINATED FLOOR PATTERN PLANS FOR REVIEW AND APPROVAL. THE FLOOR PATTERN PLAN SHALL SHOW COMPLETE LAYOUTS, DIMENSIONS AND STARTING POINTS.
2. ALL FLOOR SUBSTRATES ARE TO BE COMPLETELY FREE OF DIRT AND ADHESIVE RESIDUE PRIOR TO FLOOR INSTALLATION.
3. ALL FLOOR SUBSTRATES ARE TO BE TESTED FOR MOISTURE AND ALKALI PRIOR TO FLOOR INSTALLATION AS PER MANUFACTURER'S RECOMMENDATION. VERIFY WITH MATERIAL INSTALLATION INSTRUCTIONS.
4. ALL CERAMIC TILE FLOORING TO HAVE MARBLE THRESHOLDS AS PER SPECIFICATIONS.
5. ALL FLOORING TO CONTINUE UNDER ALL CASEWORK.
6. SEAMLESS RUBBER FLOORING (SR) TO BE COLD WELDED, UNLESS NOTED OTHERWISE.
7. VCT GRAIN TO RUN IN (1) DIRECTION, PERPENDICULAR TO LONG AXIS OF ROOM.
10. ALL VCT GRIDS ARE TO CONTINUOUSLY RUN FROM ONE SPACE TO ANOTHER, UNLESS NOTED OTHERWISE.
11. SHEET VINYLS WITH A PATTERN REPEAT, SHALL BE INSTALLED WITH SEAMS PROPERLY MATCHED. IF SHEET VINYL IS USED WITH PRECISE PATTERN INLAY, UTILIZE METAL TEMPLATE TO CUT SHEET VINYL.

FLOOR PATTERN KEYNOTES

- FP1 PROVIDE LEVEL TRANSITION BETWEEN NEW AND EXISTING FLOORING.
- FP2 INSTALL RUBBER STAIR TREADS (RST-1) ON STAIRS
- FP3 PROVIDE LEVEL TRANSITION BETWEEN POOL DECK MATERIAL AND RESINOUS FLOORING
- FP4 PROVIDE LEVEL TRANSITION BETWEEN POOL DEPTH TILES AND RESINOUS FLOORING



F1 FLOOR PATTERN PLAN
1/8" = 1'-0"

N

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7506 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	FIRST FLOOR - FLOOR PATTERN PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	JTM
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE114
Dwg. 19 of 86	

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ROOF PLAN SYMBOLS

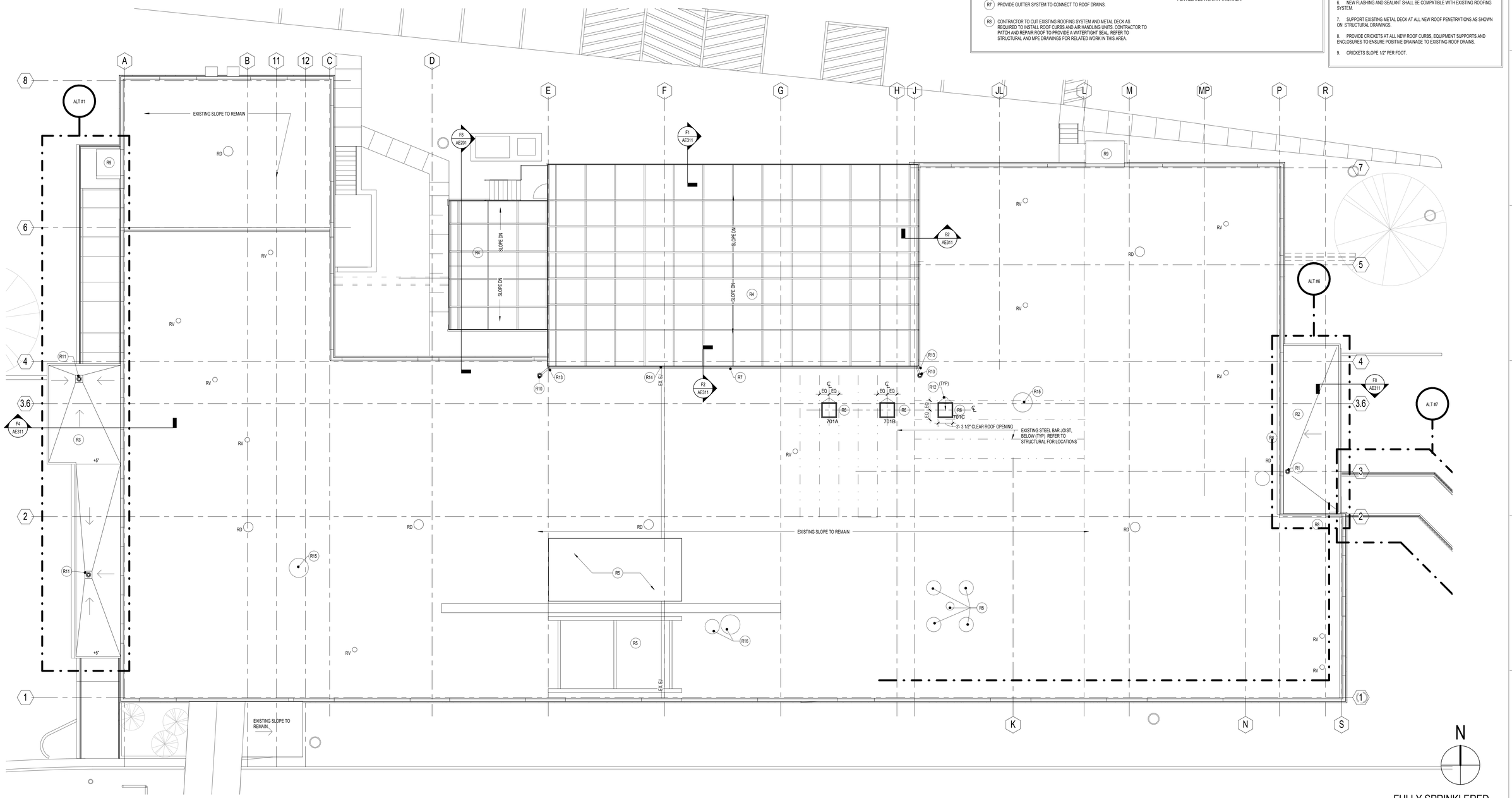
- RD = ROOF DRAIN
- RV = ROOF VENT
- RD = NEW ROOF DRAIN

ROOF PLAN KEYNOTES

- R1 NEW ROOF DRAIN TIES INTO EXISTING INTERIOR DRAIN PIPE.
- R2 NEW EPDM ROOFING.
- R3 NEW METAL PANEL CANOPY WITH EPDM ROOFING.
- R4 PREFABRICATED STRUCTURED POLYCARBONATE PANEL ASSEMBLY.
- R5 EXISTING DUNNAGE, TO REMAIN.
- R6 NEW 3'-0" X 3'-0" SKYLIGHT. REFER TO SHEET AE601 FOR DETAILS. DIMENSIONS ARE TO LOCATE ROUGH OPENING (INSIDE CURB). COORDINATE ROUGH-OPENING DIMENSIONS WITH SKYLIGHT MANUFACTURER. SLOPE CURB 1/4" PER FOOT TO PROVIDE POSITIVE DRAINAGE.
- R7 PROVIDE GUTTER SYSTEM TO CONNECT TO ROOF DRAINS.
- R8 CONTRACTOR TO CUT EXISTING ROOFING SYSTEM AND METAL DECK AS REQUIRED TO INSTALL ROOF CURBS AND AIR HANDLING UNITS. CONTRACTOR TO PATCH AND REPAIR ROOF TO PROVIDE A WATERTIGHT SEAL. REFER TO STRUCTURAL AND MPE DRAWINGS FOR RELATED WORK IN THIS AREA.
- R9 EXISTING CANOPY TO REMAIN.
- R10 ROOF DRAINS TO CONNECT TO NEW INTERIOR ROOF DRAIN. REFER TO PLUMBING DRAWINGS.
- R11 ROOF DRAINS TO CONNECT TO DOWNSPOUTS. REFER TO DETAIL F2/AE601. COORDINATE LOCATIONS WITH STRUCTURAL COLUMNS BELOW.
- R12 PROVIDE CRICKET AT EACH SKYLIGHT. 1/4" PER FOOT SLOPE.
- R13 DOWNSPOUT TO CONNECT GUTTER SYSTEM TO ROOF DRAIN.
- R14 PROVIDE EXPANSION JOINT AND COVER AT CURB/WALL.
- R15 NEW EXHAUST FAN ON EXISTING ROOF CURB. REFER TO MECHANICAL DRAWINGS FOR RELATED WORK IN THIS AREA.
- R16 REMOVE EXISTING ROOFTOP EQUIPMENT AND CURB. PATCH AND REPAIR ROOF TO PROVIDE A WATERTIGHT SEAL. REFER TO MECHANICAL DRAWINGS FOR RELATED WORK IN THIS AREA.

ROOF PLAN GENERAL NOTES

1. ALL DEMOLITION AND PATCHING WORK TO BE PERFORMED IN ACCORDANCE WITH SPECIFICATION SECTION 01 73 29, CUTTING AND PATCHING AND SECTION 02 41 00, DEMOLITION.
2. NOTIFY ARCHITECT OF DISREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
3. REMOVE NO MORE EXISTING ROOFING THAN WHAT CAN BE COVERED IN ONE DAY BY NEW ROOFING AND SO THAT BUILDING INTERIOR REMAINS WATERTIGHT AND WEATHERTIGHT.
4. REMOVE, REPLACE, PATCH AND REPAIR MATERIALS AND SURFACES CUT OR DAMAGED DURING DEMOLITION AND INSTALLATION, BY METHODS AND WITH MATERIALS SO AS NOT TO VOID EXISTING ROOF WARRANTIES. NOTIFY ROOF WARRANTOR BEFORE PROCEEDING.
5. NOTIFY ROOF WARRANTOR ON COMPLETION OF SELECTIVE DEMOLITION, AND OBTAIN DOCUMENTATION VERIFYING THAT EXISTING ROOF SYSTEM HAS BEEN INSPECTED AND WARRANTY REMAINS IN EFFECT. SUBMIT DOCUMENTATION AT PROJECT CLOSEOUT.
6. NEW FLASHING AND SEALANT SHALL BE COMPATIBLE WITH EXISTING ROOFING SYSTEM.
7. SUPPORT EXISTING METAL DECK AT ALL NEW ROOF PENETRATIONS AS SHOWN ON STRUCTURAL DRAWINGS.
8. PROVIDE CRICKETS AT ALL NEW ROOF CURBS, EQUIPMENT SUPPORTS AND ENCLOSURES TO ENSURE POSITIVE DRAINAGE TO EXISTING ROOF DRAINS.
9. CRICKETS SLOPE 1/2" PER FOOT.



F1 ROOF PLAN
1/8" = 1'-0"

N

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	3453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	ROOF PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE121
Dwg. 20 of 68	

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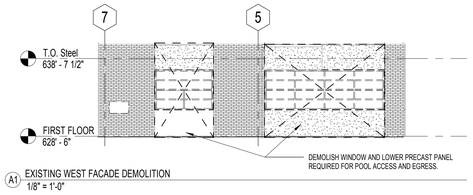
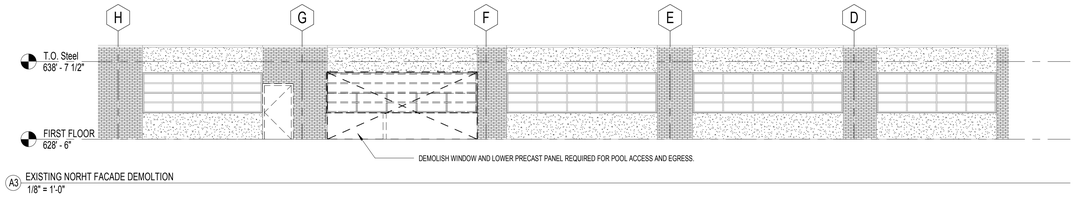
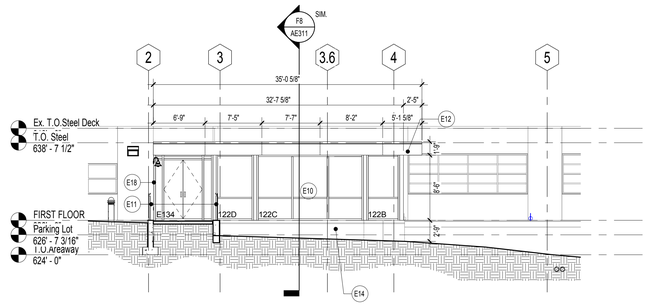


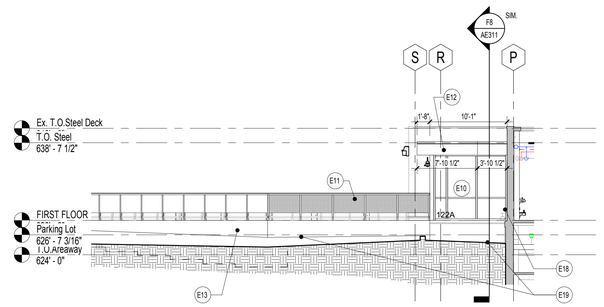
A1 EXISTING WEST FACADE DEMOLITION
1/8" = 1'-0"



A3 EXISTING NORHT FACADE DEMOLTION
1/8" = 1'-0"



B3 STAFF BREAK ROOM EAST ELEVATION
1/8" = 1'-0"



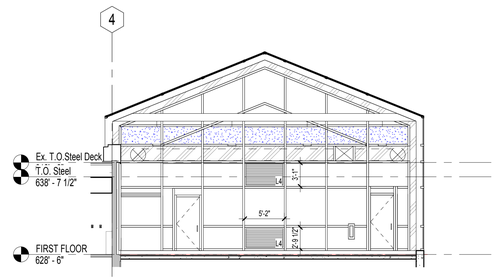
B6 STAFF BREAK ROOM NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

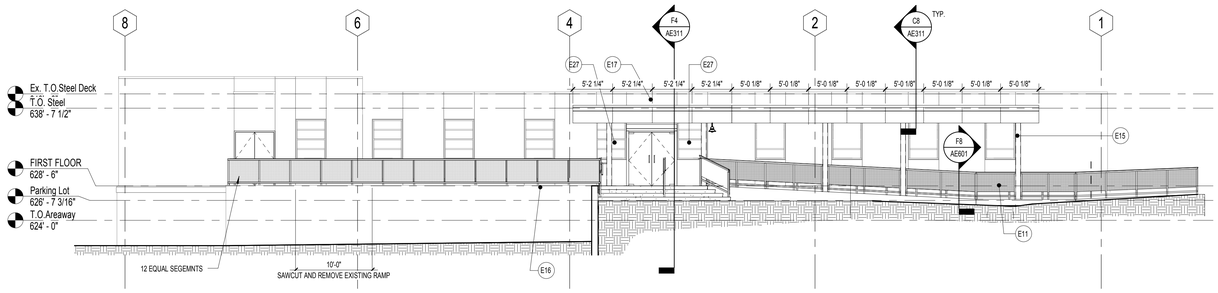
- E1 1" POLYCARBONATE GLAZING.
- E2 PREFABRICATED POOL ENCLOSURE. MANUFACTURER FOR BASIS OF DESIGN - PEI.
- E3 PREFABRICATED ENCLOSURE TO HOUSE AHU. MANUFACTURER FOR BASIS OF DESIGN - PEI. ENCLOSURE TO MATCH PREFABRICATED POOL ENCLOSURE.
- E4 CAST-IN-PLACE CONCRETE RETAINING WALL WITH CAP. REFER TO STRUCTIRAL DRAWINGS FOR MORE DETAILS.
- E5 5" CONCRETE SLAB ON DECK WITH RADIANT HEATING.
- E6 CAST-IN-PLACE CONCRETE POOL.
- E7 EXISTING EXTERIOR WALL, TO REMAIN.
- E8 NEW RETAINING WALL FOUNDATION. REFER TO STRUCTURAL.
- E9 8" REINFORCED SLAB ON GRADE. REFER TO ARCHITECTURAL PLAN FOR DIMENSIONS AND STRUCTURAL DRAWINGS FOR DETAILS.
- E10 STOREFRONT
- E11 GKD MESH RAILING WITH METAL HANDRAIL, OR APPROVED EQUAL. REFER TO SHEET AE601 FOR DETAILS. WEST ENTRANCE RAILING TO BE CONTINUOUS, WITH POSTS SPACED EQUALLY IF ALTERNATE #1 IS NOT ACCEPTED.
- E12 INSULATED METAL ROOF PANEL. SIZE, TEXTURE AND COLOR TO BE SELECTED BY ARCHITECT.
- E13 CAST-IN-PLACE CONCRETE RETAINING WALL. SEE CIVIL DRAWING FOR TYPE.
- E14 EXISTING CONCRETE LOADING DOCK. POWER WASHED AND WATERPROOFED.
- E15 NEW STRUCTURAL STEEL FRAME. REFER TO STRUCTURAL.
- E16 RESLOPED RAMP.
- E17 EXISTING BRICK TO REMAIN.
- E18 FURNISH AND INSTALL EXTERIOR WALL EXPANSION JOINT. REFER TO SPECIFICATIONS SECTION 079500 FOR TYPE.
- E19 GRADE TO BE BACKFILLED AND SLOPED PER CIVIL DRAWINGS.
- E20 1" CONCRETE CONTROL JOINT.
- E21 EXISTING TRANSFORMER, TO REMAIN.
- E22 INSTALL EMSEAL. VERIFY THICKNESS IN FIELD.
- E23 ALTERNATE NO.3: PROVIDE BRICK SHELF IN RETAINING WALL AND IN BRICK ON SHELF PROVIDED
- E24 ALTERNATE NO.5: PROVIDE LOUVER SIZE OF FULL PANEL. BLANK OFF ON INTERIOR AREA NOT USED BY POOL EXHAUST SYSTEM.
- E25 CONCRETE STAIR AND LANDING. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- E26 PENDANT LIGHT FIXTURE SUSPENDED FROM POOL ENCLOSURE STRUCTURE. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.
- E27 REPLACE GLAZING IN EXISTING WINDOW WITH INSULATED, TEMPERED GLAZING, COLOR AND TINT TO MATCH EXISTING.
- E28 LOUVER PAINTED WHITE.

ELEVATION MATERIAL LEGEND

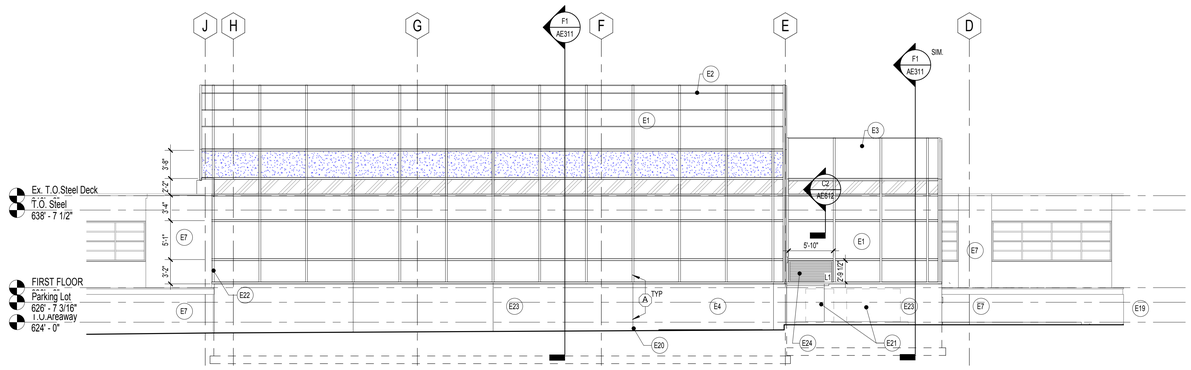
- 1" METAL PANEL, PER MANUFACTURER
- 1" POLYCARBONATE, TRANSLUCENT, PER MANUFACTURER
- 1" INSULATED GLASS
- 0.125" COMPOSITE ALUMINUM PANEL



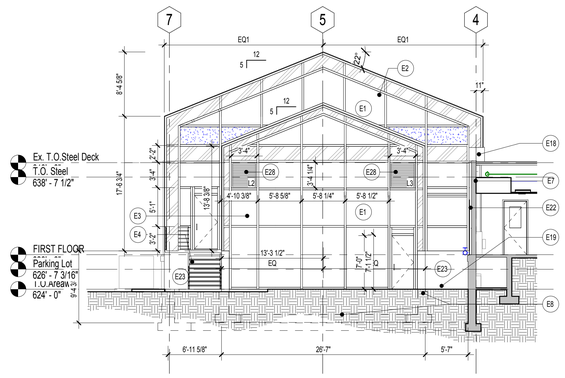
D1 THERAPY POOL WEST INTERIOR ELEVATION
1/8" = 1'-0"



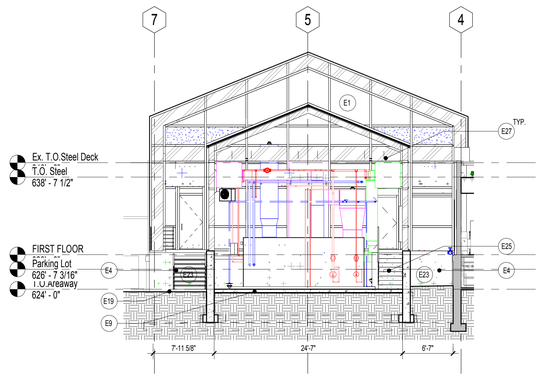
D4 WEST RAMP ELEVATION
1/8" = 1'-0"



F1 POOL ENCLOSURE - NORTH
1/8" = 1'-0"



F5 THERAPY POOL - WEST
1/8" = 1'-0"



F8 BUILDING SECTION @ MECHANICAL AREA
1/8" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N.DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1623 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	BUILDING SECTIONS AND ELEVATIONS
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE201
Dwg. 21 of 86	

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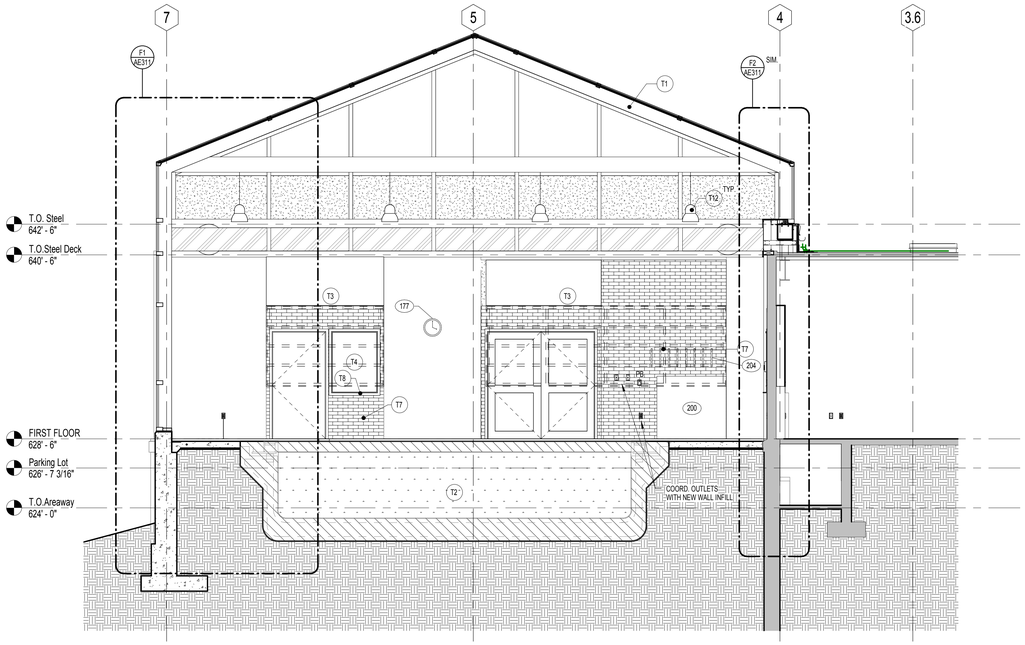
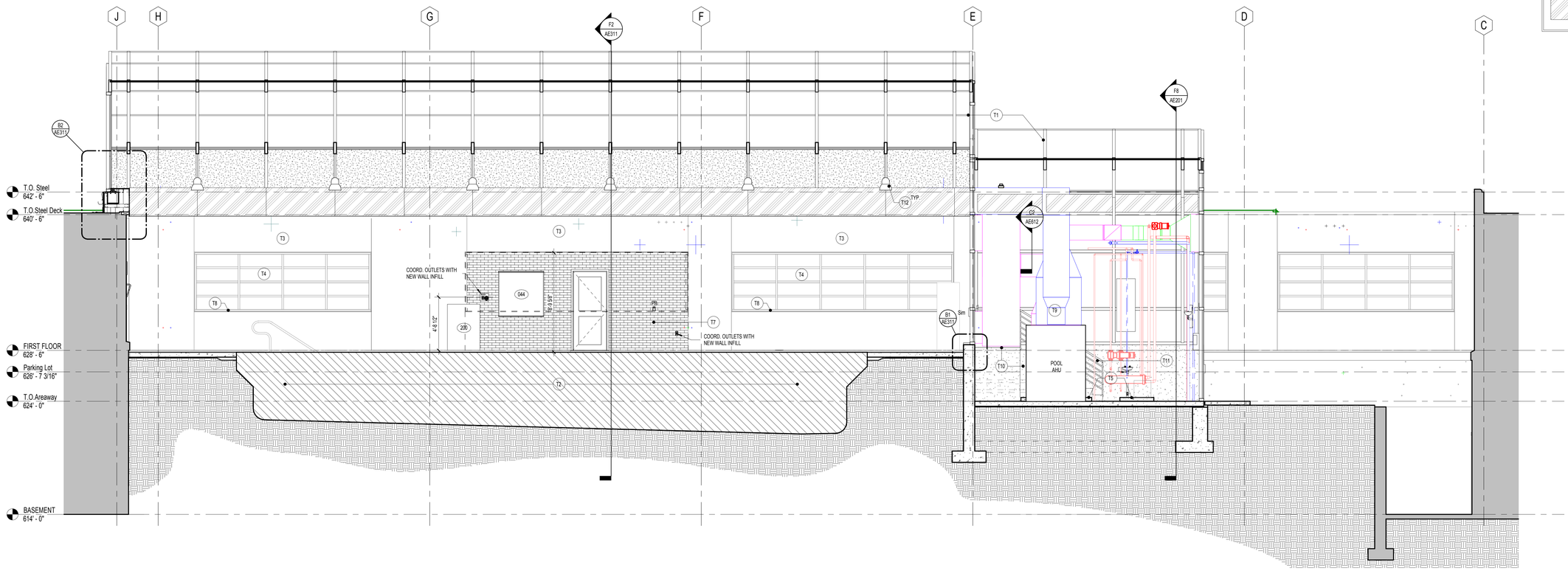
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



C4 THERAPY POOL - EAST SECTION / ELEVATION
1/4" = 1'-0"



F1 THERAPY POOL - SOUTH
1/4" = 1'-0"

ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

THERAPY POOL ELEVATION KEYNOTES

- T1 POOL ENCLOSURE, BY OTHERS. REFER TO VENDOR DRAWINGS FOR MORE INFORMATION.
- T2 POOL, BY OTHERS. REFER TO VENDOR DRAWINGS FOR MORE INFORMATION.
- T3 EXISTING PRECAST CONCRETE PANEL TO REMAIN.
- T4 EXISTING WINDOW, TO REMAIN. PROVIDE POLYCARBONATE PANELS TO MATCH POOL ENCLOSURE. TO BE REVIEWED BY ARCHITECT.
- T5 4" HOUSEKEEPING PAD. REFER TO MECHANICAL DRAWINGS FOR SIZE AND LOCATION.
- T6 NOT USED
- T7 NEW BRICK WALL TO MATCH EXISTING.
- T8 WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH.
- T9 AIR HANDLING UNIT. COORDINATE WITH MECHANICAL DRAWINGS.
- T10 CONCRETE STAIR AND LANDING. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- T11 PIPE RAILING TO MATCH POOL RAILING.
- T12 PENDANT LIGHT FIXTURE SUSPENDED FROM POOL ENCLOSURE STRUCTURE. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPE.

ELEVATION MATERIAL LEGEND

- 1" METAL PANEL, PER MANUFACTURER
- 1" POLYCARBONATE, TRANSLUCENT, PER MANUFACTURER
- 1" INSULATED GLASS
- 0.125" COMPOSITE ALUMINUM PANEL

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: ENLARGED ELEVATIONS - THERAPY POOL

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

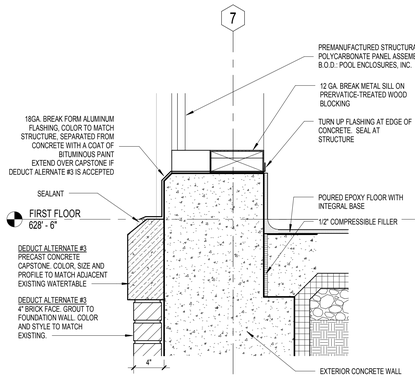
Drawing Number: AE301

Dwg. 23 of 86

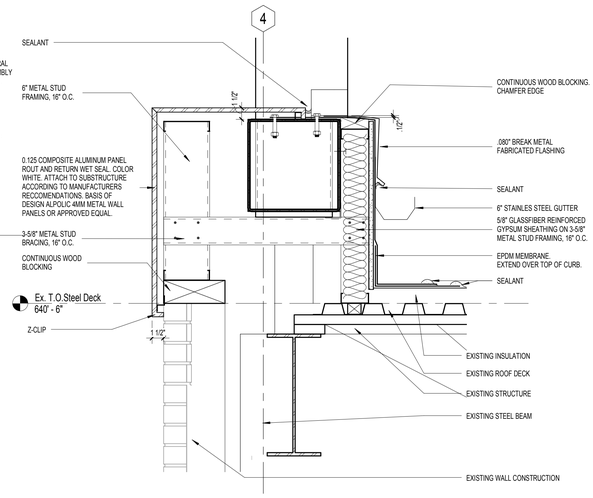
Office of Facilities Management

Department of Veterans Affairs

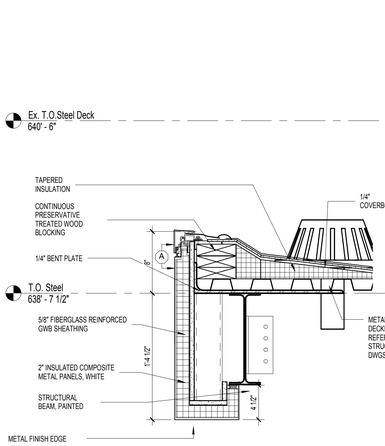
VA FORM 08-6231, OCT 1978



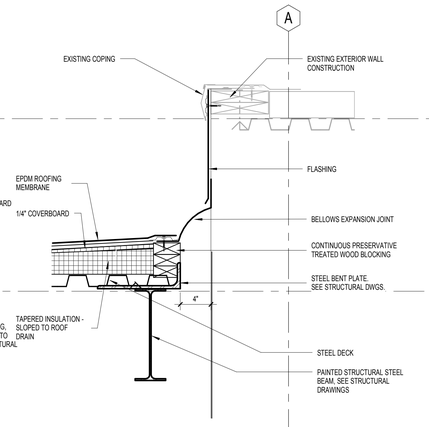
B1 DETAIL @ POOL ENCLOSURE CURB
1 1/2" = 1'-0"



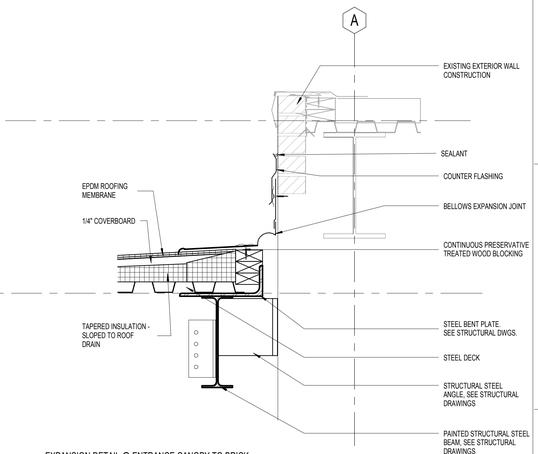
B2 CONNECTION DETAIL @ POOL ENCLOSURE
1 1/2" = 1'-0"



C4 DETAIL @ METAL PANEL FASCIA
1 1/2" = 1'-0"



C8 EXPANSION DETAIL @ ENTRANCE CANOPY TO PRECAST CONCRETE
1 1/2" = 1'-0"



C6 EXPANSION DETAIL @ ENTRANCE CANOPY TO BRICK
1 1/2" = 1'-0"

F1 SECTION @ POOL ENCLOSURE
1/2" = 1'-0"

F2 SECTION @ WALL INFILL
1/2" = 1'-0"

F4 SECTION @ ENTRANCE STAIR
1/2" = 1'-0"

F8 SECTION @ STAFF BREAK
1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3184	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: WALL SECTIONS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13 | Checked: TN | Drawn: BG

VA Project Number: 542-CSI-203

Building Number: 69

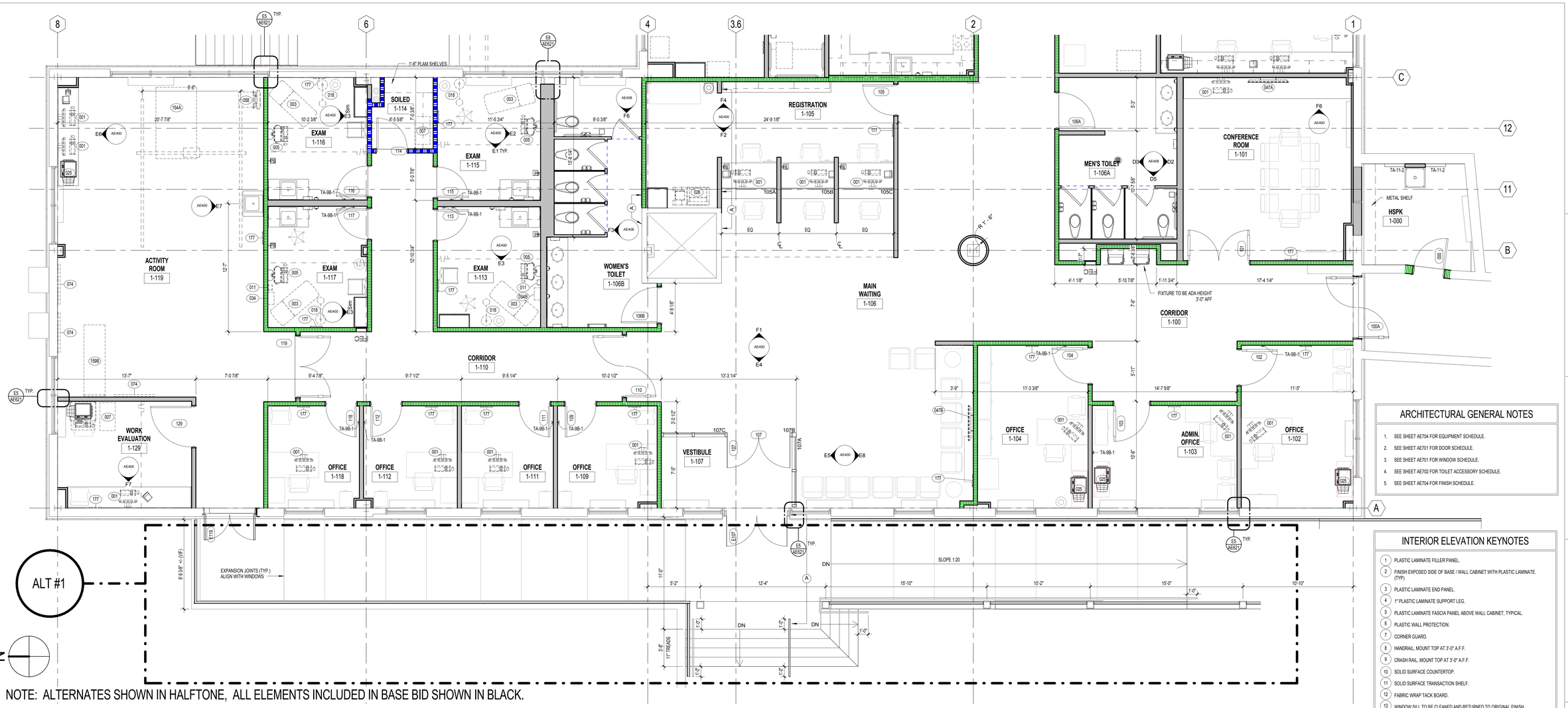
Drawing Number: AE311

Dwg. 23 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

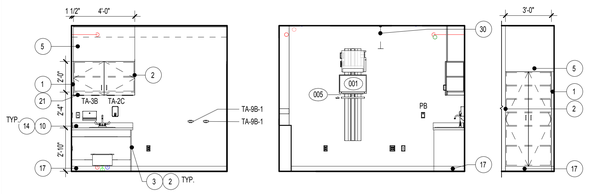


ALT #1

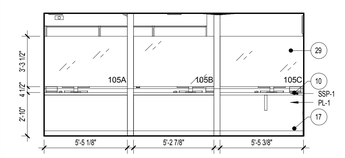
N

NOTE: ALTERNATES SHOWN IN HALFTONE, ALL ELEMENTS INCLUDED IN BASE BID SHOWN IN BLACK.

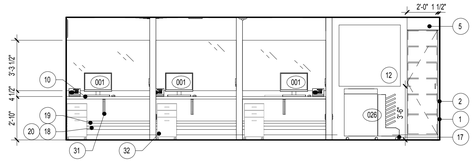
D1 Callout of FIRST FLOOR
1/4" = 1'-0"



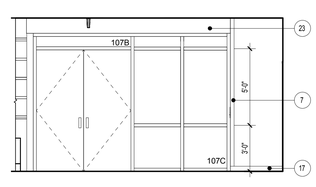
E1 EXAM, TYP.
1/4" = 1'-0"



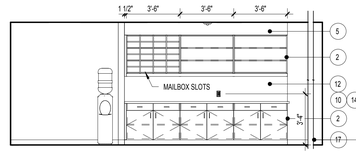
E2 EXAM, TYP.
1/4" = 1'-0"



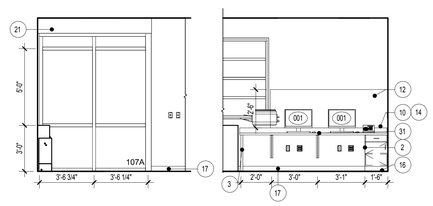
E3 EXAM, TYP.
1/4" = 1'-0"



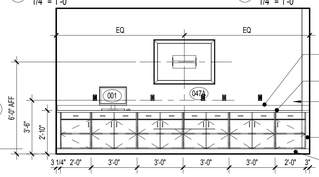
E4 MAIN WAITING
1/4" = 1'-0"



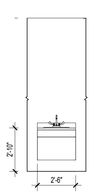
E5 MAIN WAITING
1/4" = 1'-0"



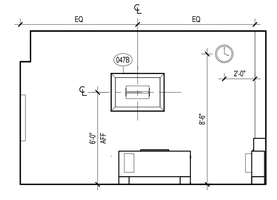
E6 ACTIVITY ROOM
1/4" = 1'-0"



E7 ACTIVITY ROOM
1/4" = 1'-0"



E8 MAIN WAITING
1/4" = 1'-0"



F1 REGISTRATION
1/4" = 1'-0"

F2 REGISTRATION
1/4" = 1'-0"

F4 REGISTRATION
1/4" = 1'-0"

F6 CONFERENCE ROOM 1-101
1/4" = 1'-0"

F7 WORK EVAL.
1/4" = 1'-0"

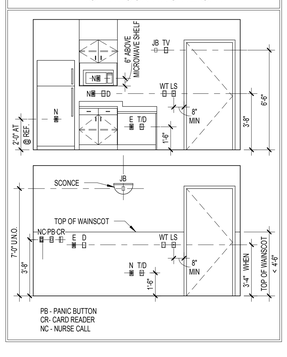
ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS.

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT



FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	3453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER:

Bray Mooney Consulting

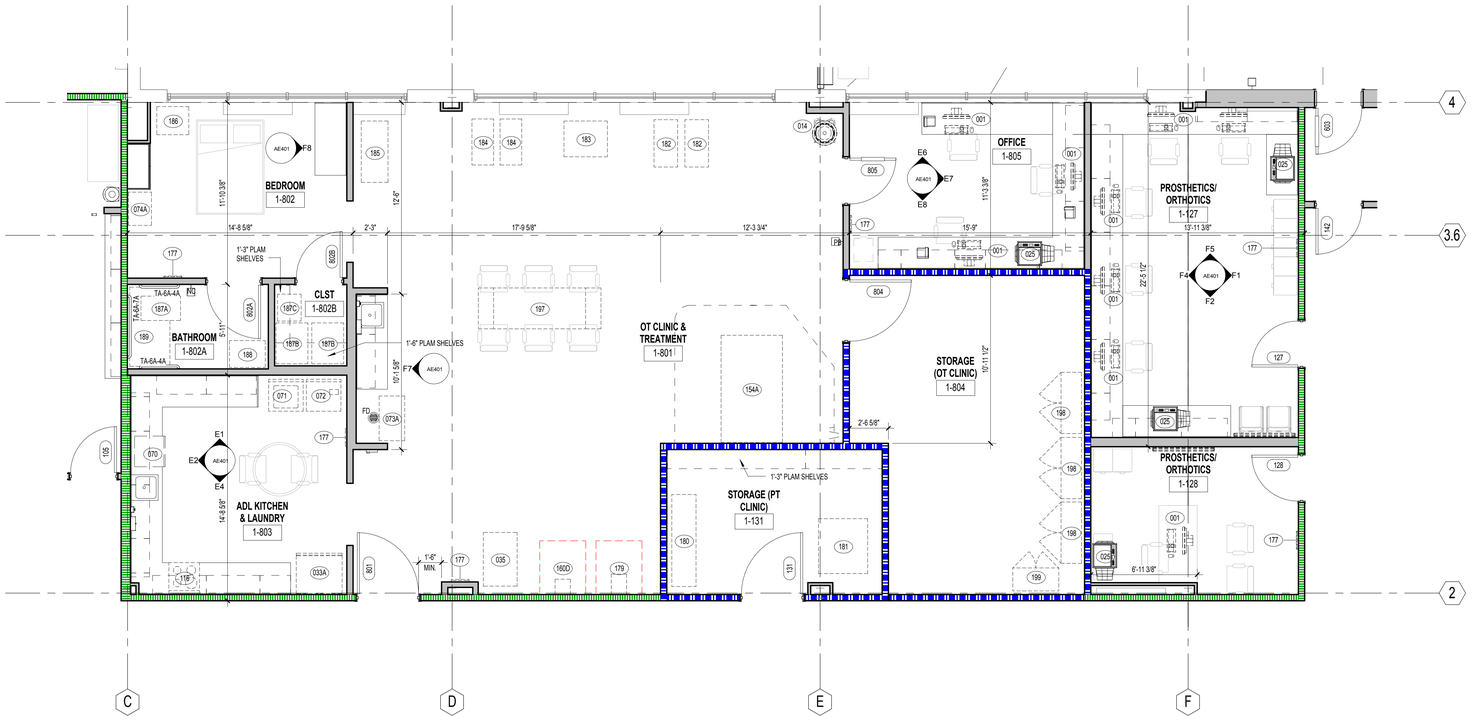
Project Number	Scale
3627	As indicated

Drawing Title	FIRST FLOOR ENLARGED PLAN - ADMINISTRATION
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE400
Dwg.	23 of 98

Office of Facilities Management

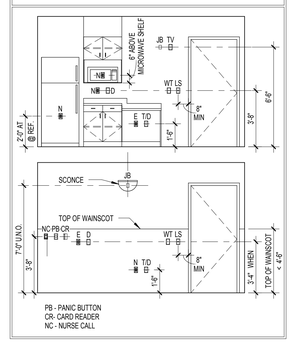
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



C1 ENLARGED FLOOR PLAN - OCCUPATIONAL THERAPY CLINIC
1/4" = 1'-0"

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT



PB - PANIC BUTTON
CR- CARD READER
NC - NURSE CALL

ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP.)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
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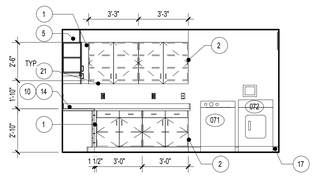
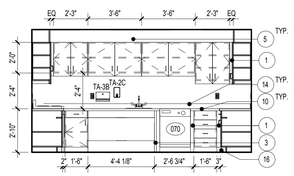
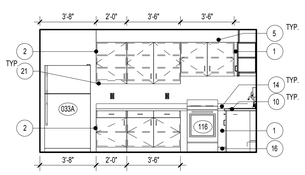
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS.



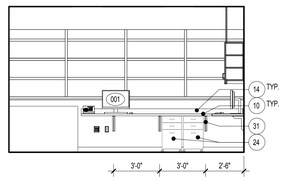
E1 KITCHEN & LAUNDRY 1-803
1/4" = 1'-0"



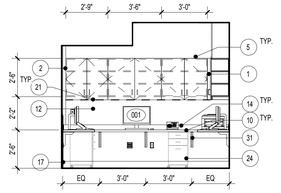
E2 KITCHEN & LAUNDRY 1-803
1/4" = 1'-0"



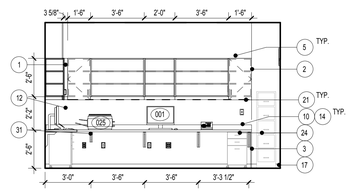
E4 KITCHEN & LAUNDRY 1-803
1/4" = 1'-0"



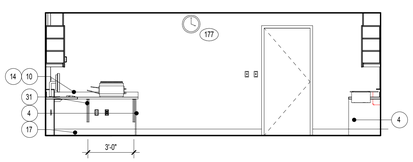
E6 OFFICE 1-805
1/4" = 1'-0"



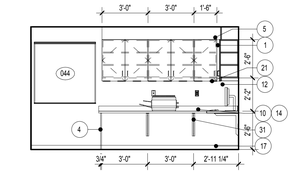
E7 OFFICE 1-805
1/4" = 1'-0"



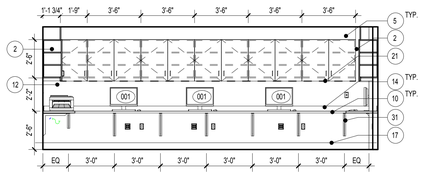
E8 OFFICE 1-805
1/4" = 1'-0"



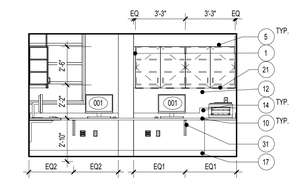
F1 PROSTHETICS / ORTHOTICS 1-127
1/4" = 1'-0"



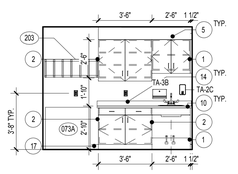
F2 PROSTHETICS / ORTHOTICS 1-127
1/4" = 1'-0"



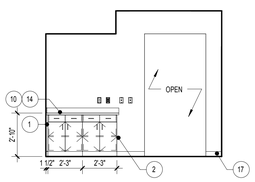
F4 PROSTHETICS / ORTHOTICS 1-127
1/4" = 1'-0"



F5 PROSTHETICS / ORTHOTICS 1-127
1/4" = 1'-0"



F7 OCCUPATIONAL THERAPY 1-801
1/4" = 1'-0"



F8 BEDROOM
1/4" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR ENLARGED PLAN - PROSTHETICS AND OCCUPATIONAL THERAPY CLINIC

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

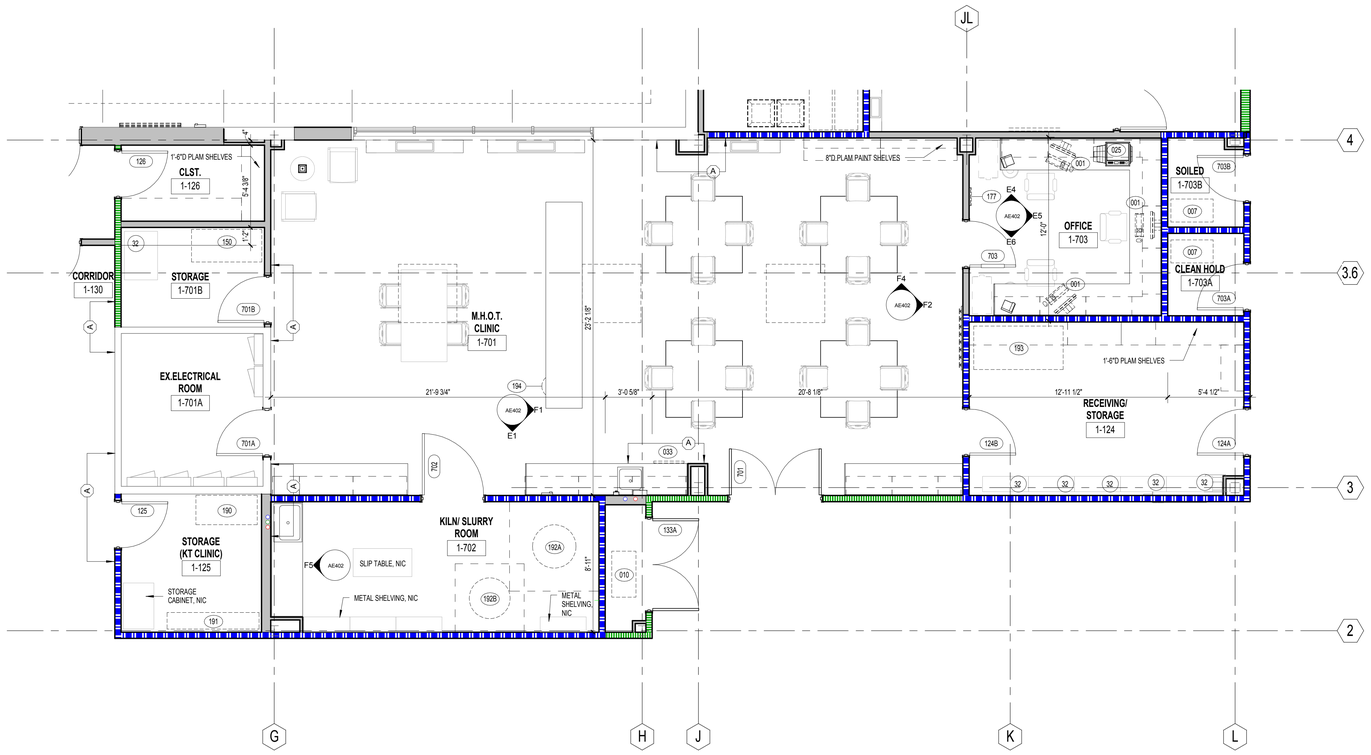
Building Number: 69

Drawing Number: AE401

Dwg. 24 of 86

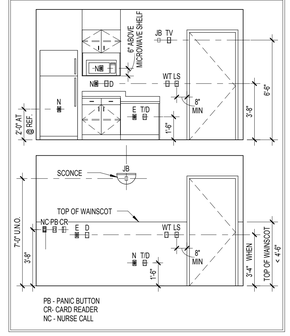
Office of Facilities Management

Department of Veterans Affairs



C1 ENLARGED FLOOR PLAN - MENTAL HEALTH OCCUPATIONAL THERAPY CLINIC
1/4" = 1'-0"

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT

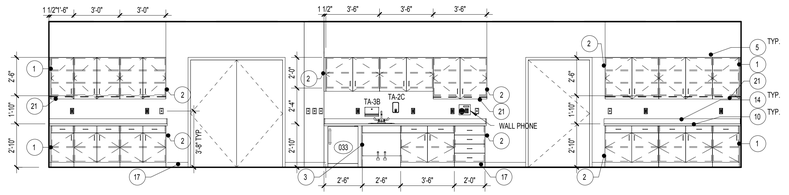


ARCHITECTURAL GENERAL NOTES

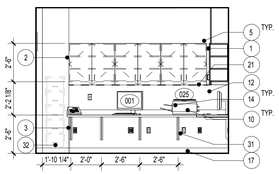
1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

INTERIOR ELEVATION KEYNOTES

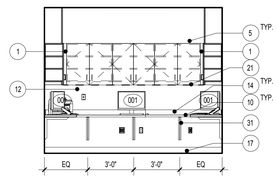
1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS.



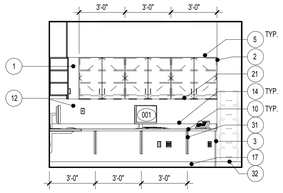
E1 M.H.O.T. CLINIC 1-701
1/4" = 1'-0"



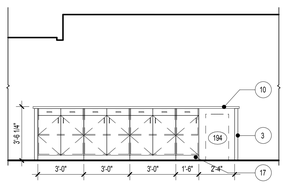
E4 OFFICE 1-703
1/4" = 1'-0"



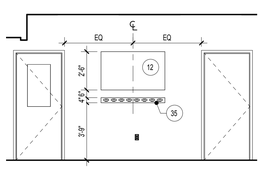
E5 OFFICE 1-703
1/4" = 1'-0"



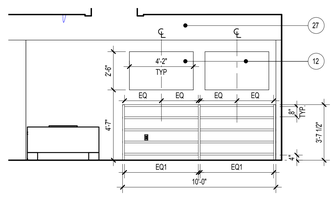
E6 OFFICE 1-703
1/4" = 1'-0"



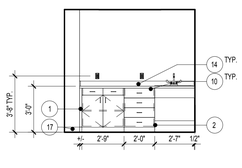
F1 M.H.O.T. CLINIC 1-701
1/4" = 1'-0"



F2 M.H.O.T. CLINIC 1-701
1/4" = 1'-0"



F4 M.H.O.T. CLINIC 1-701
1/4" = 1'-0"



F5 KILN / SLURRY ROOM 1-702
1/4" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

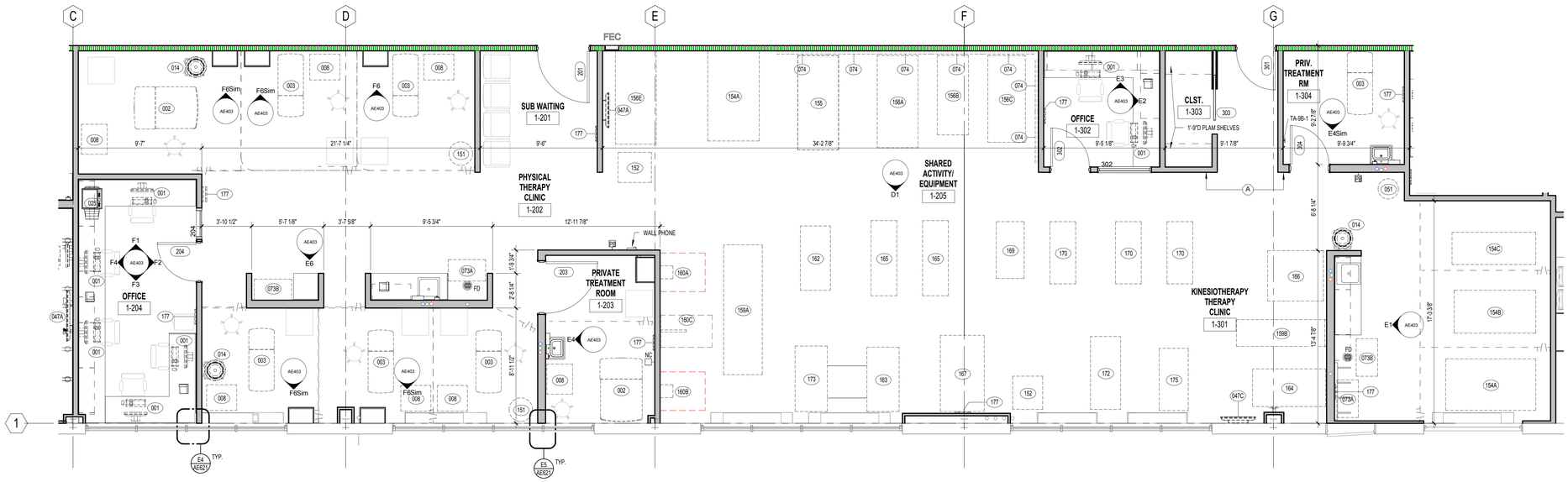
Project Number	Scale
3627	As indicated

Drawing Title	FIRST FLOOR ENLARGED PLAN - MENTAL HEALTH OCCUPATIONAL THERAPY CLINIC
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE402
Dwg. 25 of 86	

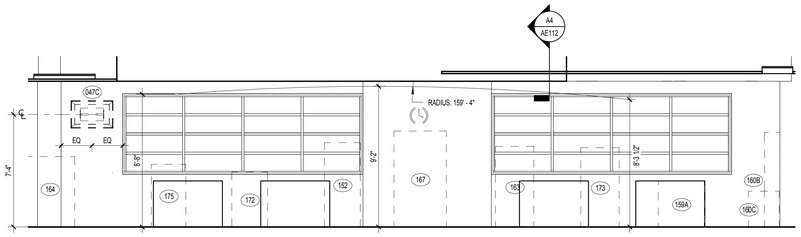
Office of Facilities Management

Department of Veterans Affairs

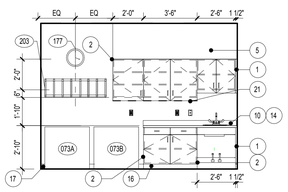
VA FORM 08-6231, OCT 1978



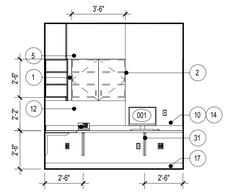
C1 ENLARGED FLOOR PLAN - PHYSICAL THERAPY CLINIC
1/4" = 1'-0"



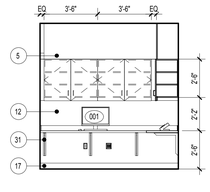
D1 SHARED ACTIVITY/EQUIPMENT
1/4" = 1'-0"



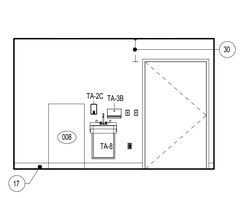
E1 KT CLINIC
1/4" = 1'-0"



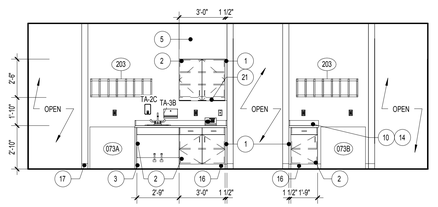
E2 OFFICE
1/4" = 1'-0"



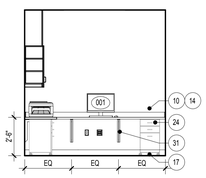
E3 OFFICE
1/4" = 1'-0"



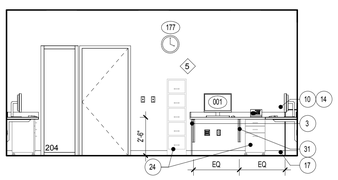
E4 PRIVATE TREATMENT ROOM 1-203
1/4" = 1'-0"



E6 PHYSICAL THERAPY CLINIC 1-202
1/4" = 1'-0"



F1 OFFICE 1-204
1/4" = 1'-0"



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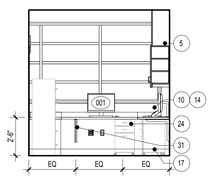
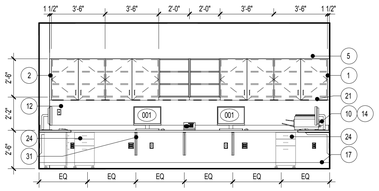
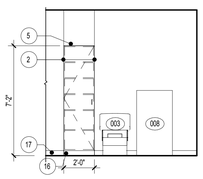
1/4" = 1'-0"



F3 OFFICE 1-204
1/4" = 1'-0"



F4 OFFICE 1-204
1/4" = 1'-0"



F6 PHYSICAL THERAPY CLINIC 1-202 - TYP BAY
1/4" = 1'-0"

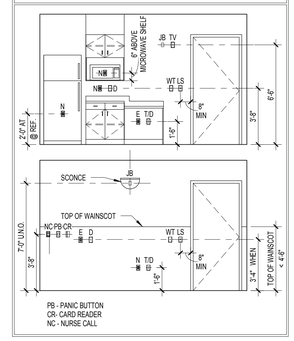
ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS.

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT



FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

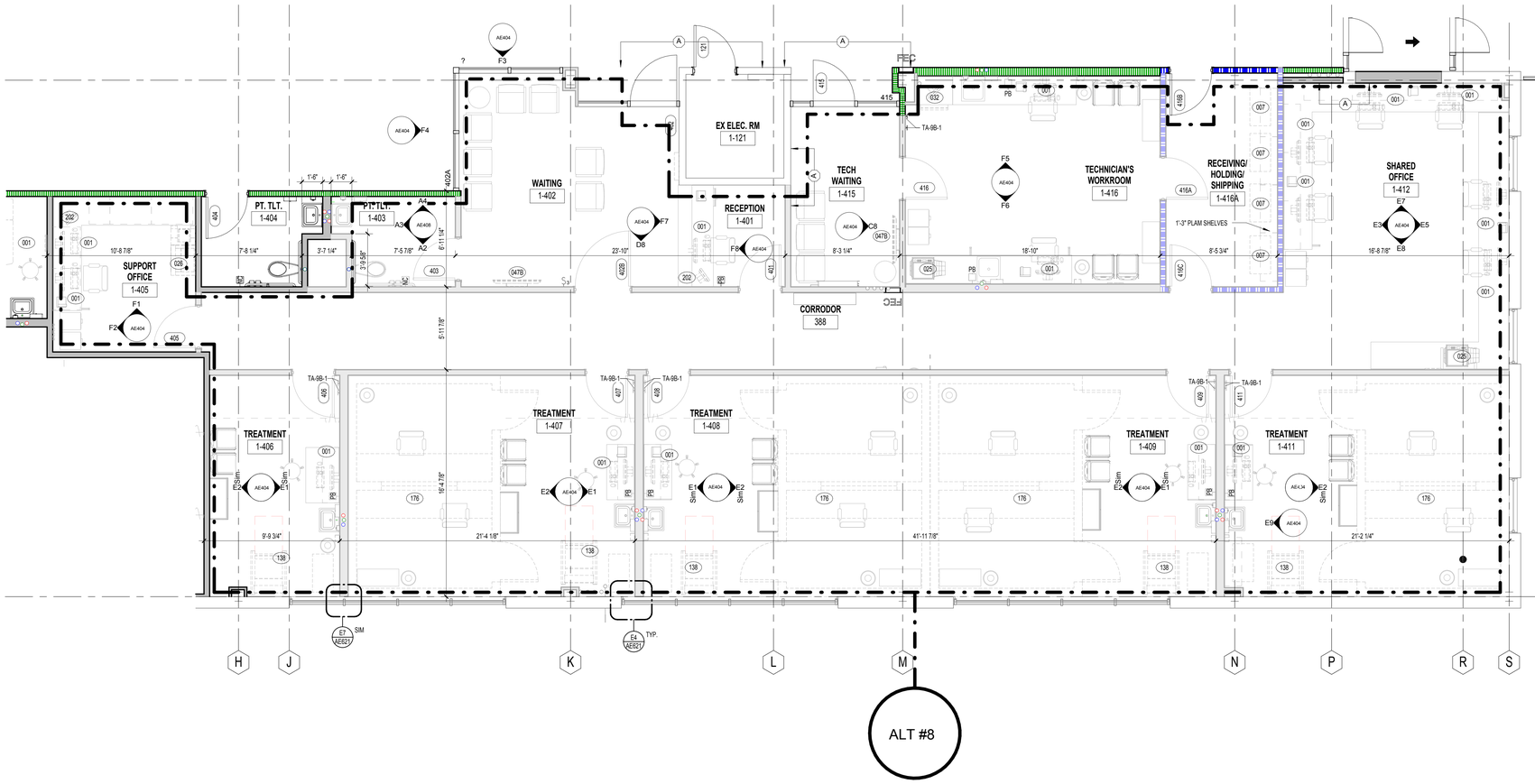
Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

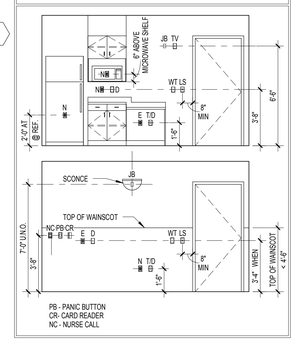
Drawing Title: FIRST FLOOR ENLARGED PLAN - PHYSICAL AND KINESIOTHERAPY CLINICS	Project Title: RENOVATE BUILDING 69	VA Project Number: 542-CSI-203	Office of Facilities Management
Approved: Project Director	Location: 1400 Black Horse Hill, Coatesville, PA	Building Number: 69	Department of Veterans Affairs
	Date: 03-29-13 / Checked: TN / Drawn: BG	Drawing Number: AE403 Dwg. 26 of 86	

VA FORM 08-6231, OCT 1978



NOTE: ALTERNATES SHOWN IN HALFTONE, ALL ELEMENTS INCLUDED IN BASE BID SHOWN IN BLACK.

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT



PB - PANIC BUTTON
CR- CARD READER
NC - NURSE CALL

ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
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11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
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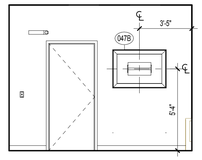
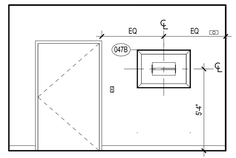
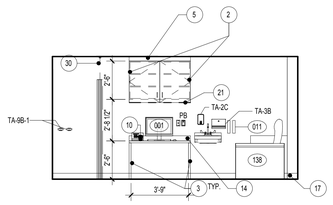


C8 TECH WAITING
1/4" = 1'-0"

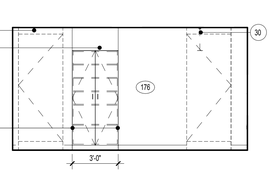


D8 WAITING
1/4" = 1'-0"

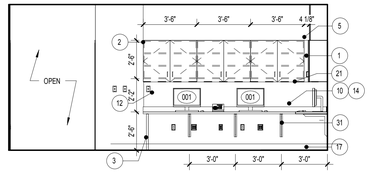
D1 ENLARGED FLOOR PLAN - AUDIOLOGY
1/4" = 1'-0"



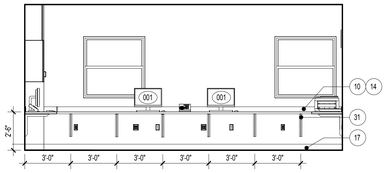
E1 TYP. TREATMENT ROOM
1/4" = 1'-0"



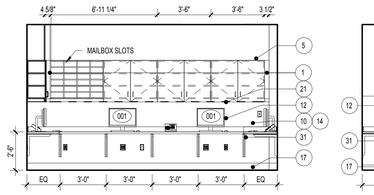
E2 TYP. TREATMENT ROOM
1/4" = 1'-0"



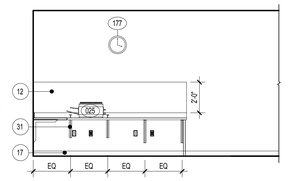
E3 SHARED OFFICE 1-412
1/4" = 1'-0"



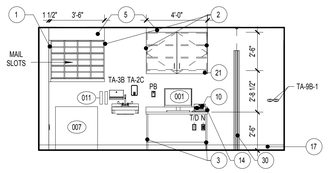
E5 SHARED OFFICE 1-412
1/4" = 1'-0"



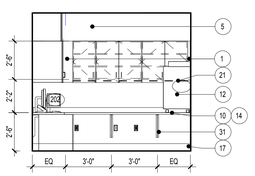
E7 SHARED OFFICE 1-412
1/4" = 1'-0"



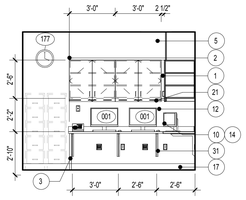
E8 SHARED OFFICE 1-412
1/4" = 1'-0"



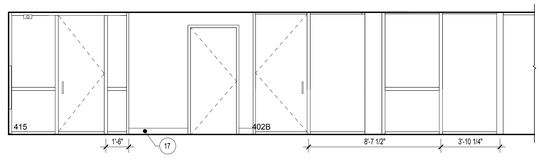
E9 TREATMENT 1-411
1/4" = 1'-0"



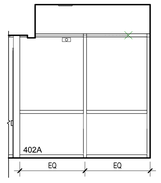
F1 SUPPORT OFFICE 1-405
1/4" = 1'-0"



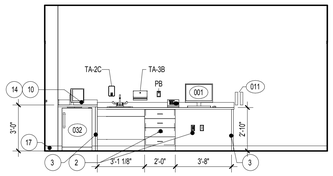
F2 SUPPORT OFFICE 1-405
1/4" = 1'-0"



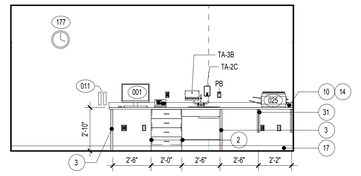
F3 WAITING
1/4" = 1'-0"



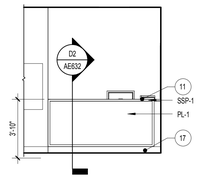
F4 WAITING
1/4" = 1'-0"



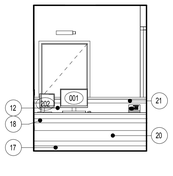
F5 TECHNICIAN'S WORKROOM 1-416
1/4" = 1'-0"



F6 TECHNICIAN'S WORKROOM 1-416
1/4" = 1'-0"



F7 RECEPTION 1-401
1/4" = 1'-0"



F8 RECEPTION 1-401
1/4" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR ENLARGED PLAN - AUDIOLOGY

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

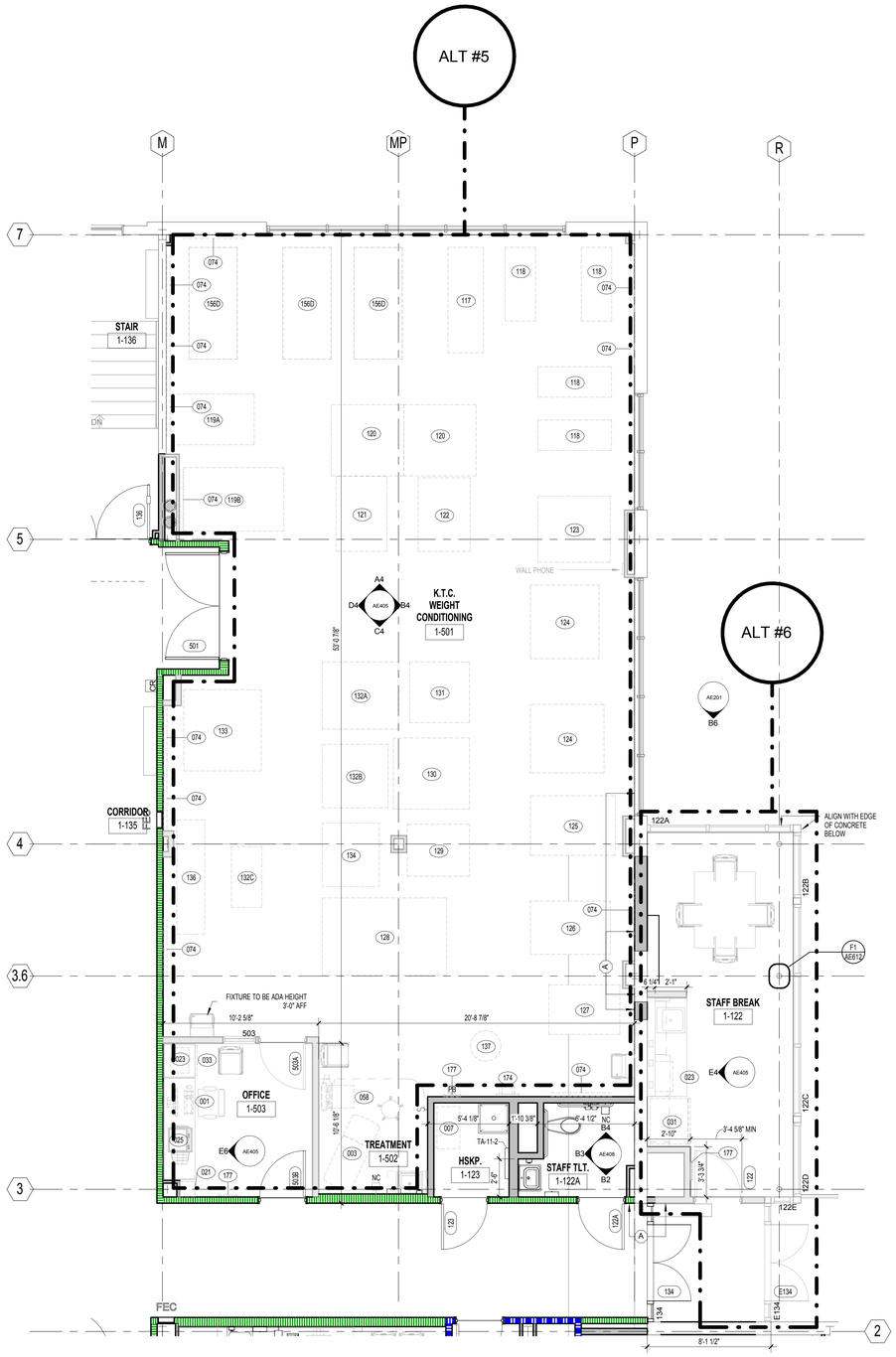
Building Number: 69

Drawing Number: AE404

Dwg. 27 of 86

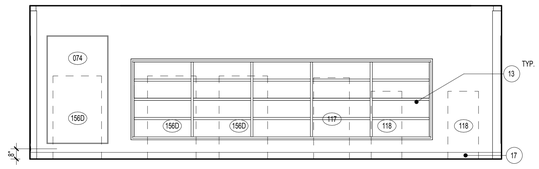
Office of Facilities Management

Department of Veterans Affairs

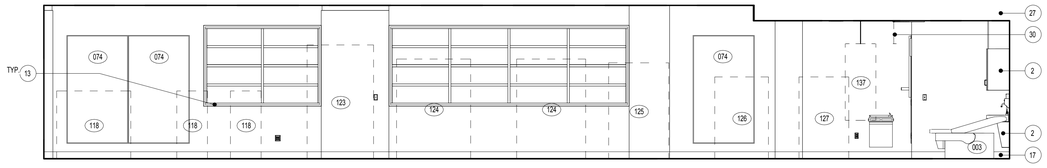


NOTE: ALTERNATES SHOWN IN HALFTONE, ALL ELEMENTS INCLUDED IN BASE BID SHOWN IN BLACK.

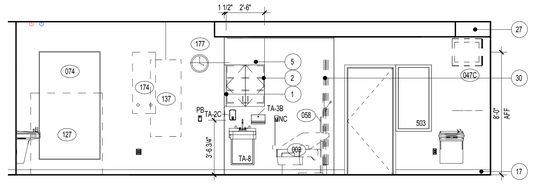
E1 ENLARGED FLOOR PLAN - WEIGHT TRAINING CLINIC
1/4" = 1'-0"



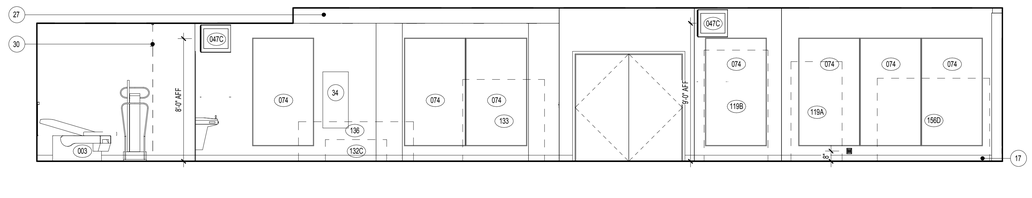
A4 K.T.C. WEIGHT CONDITIONING 1-501
1/4" = 1'-0"



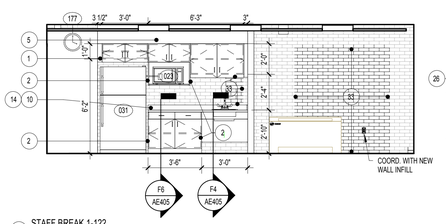
B4 K.T.C. WEIGHT CONDITIONING 1-501
1/4" = 1'-0"



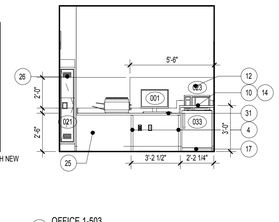
C4 K.T.C. WEIGHT CONDITIONING 1-501
1/4" = 1'-0"



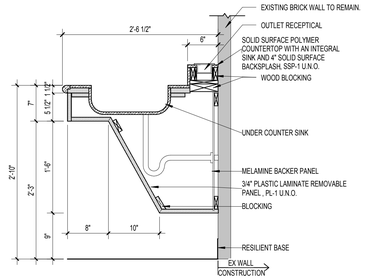
D4 K.T.C. WEIGHT CONDITIONING 1-501
1/4" = 1'-0"



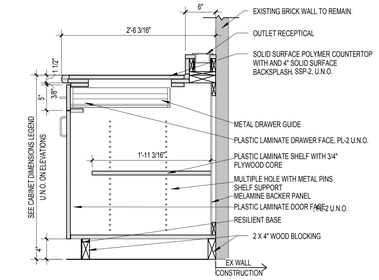
E4 STAFF BREAK 1-122
1/4" = 1'-0"



E6 OFFICE 1-503
1/4" = 1'-0"



F4 SECTION @ ADA BASE CABINET - STAFF BREAK
1" = 1'-0"



F6 SECTION @ TYPICAL BASE CABINET - STAFF BREAK
1" = 1'-0"

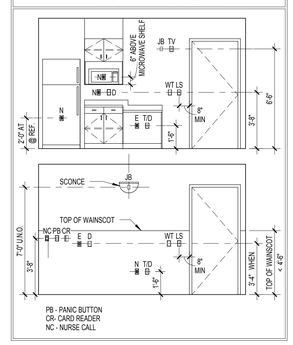
ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS.

ELECTRICAL AND DATA OUTLETS TYPICAL MOUNTING HEIGHT



PB - PANIC BUTTON
CR- CARD READER
NC - NURSE CALL

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-8077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR ENLARGED PLAN - WEIGHT TRAINING CLINIC

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

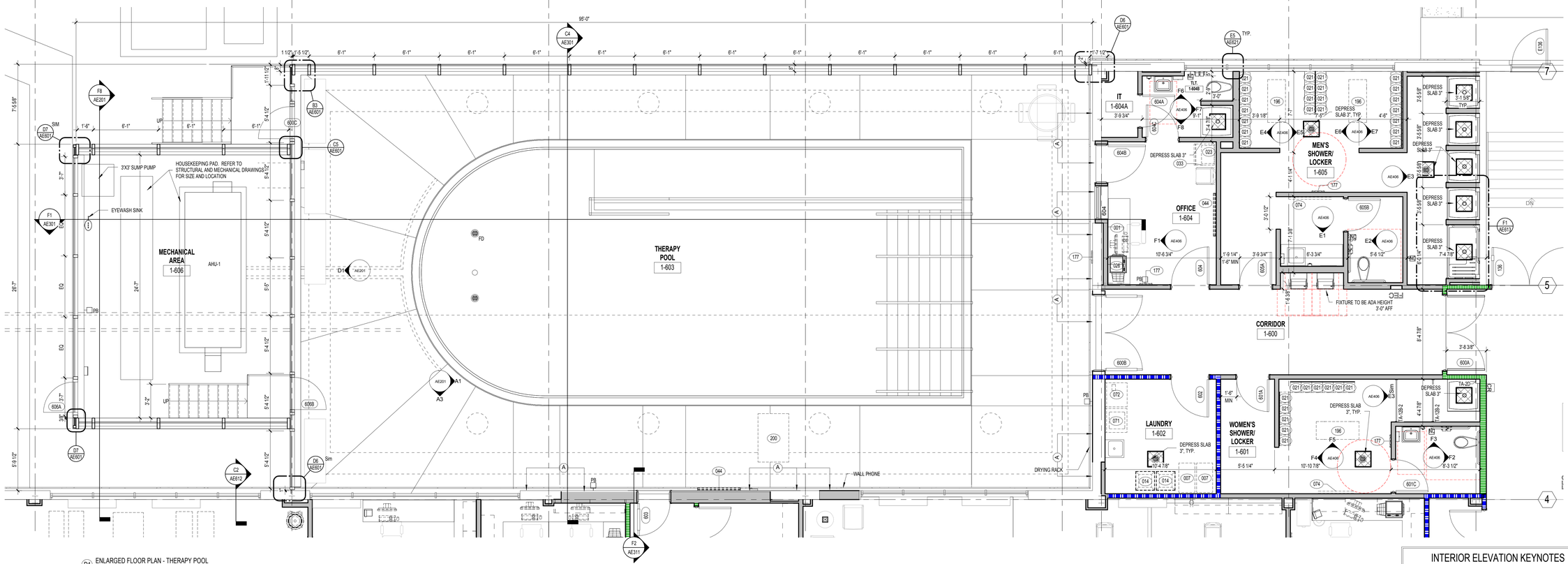
Drawing Number: AE405

Dwg. 28 of 86

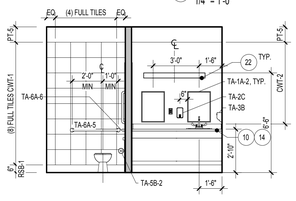
Office of Facilities Management

Department of Veterans Affairs

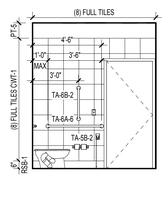
VA FORM 08-6231, OCT 1978



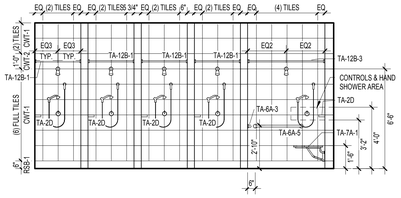
D1 ENLARGED FLOOR PLAN - THERAPY POOL
1/4" = 1'-0"



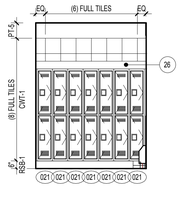
E1 MEN'S SHOWER/ LOCKER
1/4" = 1'-0"



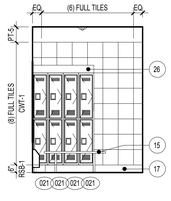
E2 MEN'S SHOWER/ LOCKER
1/4" = 1'-0"



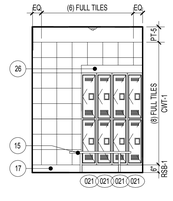
E3 MEN'S SHOWER/ LOCKER
1/4" = 1'-0"



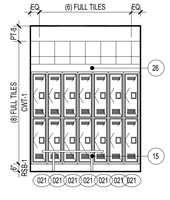
E4 MEN'S SHOWER / LOCKER 1-605
1/4" = 1'-0"



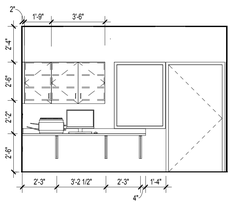
E5 MEN'S SHOWER / LOCKER 1-605
1/4" = 1'-0"



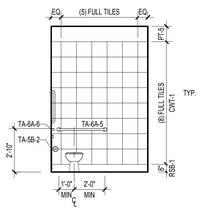
E6 MEN'S SHOWER / LOCKER 1-605
1/4" = 1'-0"



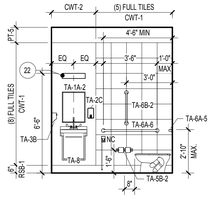
E7 MEN'S SHOWER / LOCKER 1-605
1/4" = 1'-0"



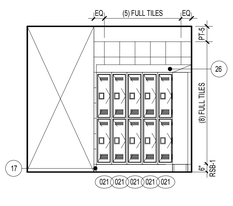
F1 OFFICE 1-604
1/4" = 1'-0"



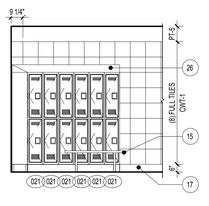
F2 WOMEN'S TOILET ROOM
1/4" = 1'-0"



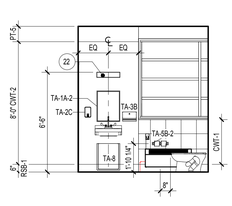
F3 WOMEN'S TOILET ROOM
1/4" = 1'-0"



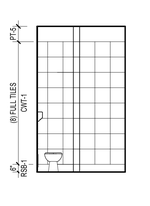
F4 WOMEN'S SHOWER / LOCKER 1-601
1/4" = 1'-0"



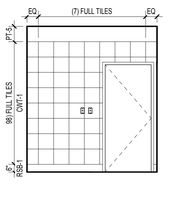
F5 WOMEN'S SHOWER / LOCKER 1-601
1/4" = 1'-0"



F6 TOILET
1/4" = 1'-0"



F7 TOILET
1/4" = 1'-0"



F8 TOILET
1/4" = 1'-0"

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL, MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
32. FURNITURE, N.I.C.
33. BRICK INFILL TO MATCH EXISTING CONSTRUCTION.
34. EXISTING ELECTRICAL PANEL, TO REMAIN.
35. ROBE HOOK RACK WITH 8 DOUBLE HOOKS

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR ENLARGED PLAN - THERAPY POOL

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

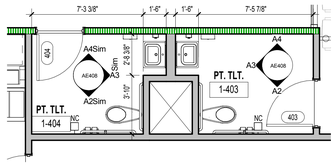
Drawing Number: AE406

Dwg. 29 of 86

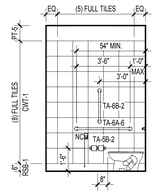
Office of Facilities Management

Department of Veterans Affairs

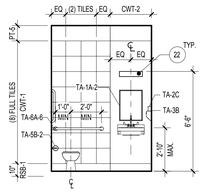
VA FORM 08-6231, OCT 1978



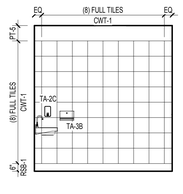
A1 PATIENT TOILET ROOMS
1/4" = 1'-0"



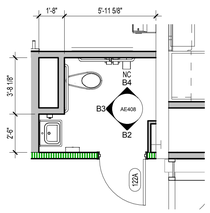
A2 PATIENT TOILET, TYP.
1/4" = 1'-0"



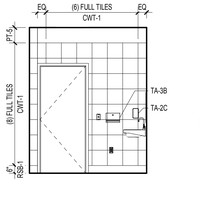
A3 PATIENT TOILET, TYP.
1/4" = 1'-0"



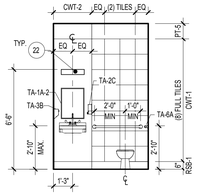
A4 PATIENT TOILET, TYP.
1/4" = 1'-0"



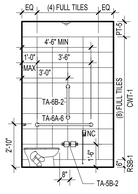
B1 STAFF BREAK TOILET
1/4" = 1'-0"



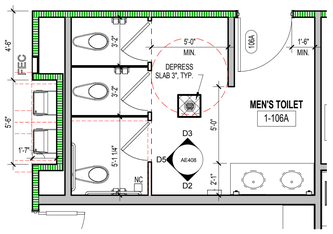
B2 STAFF BREAK TOILET
1/4" = 1'-0"



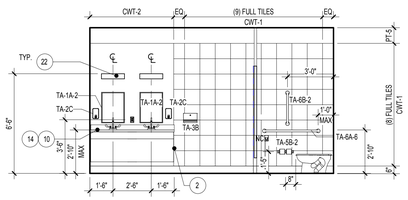
B3 STAFF BREAK TOILET
1/4" = 1'-0"



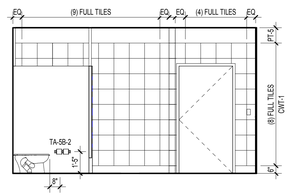
B4 STAFF BREAK TOILET
1/4" = 1'-0"



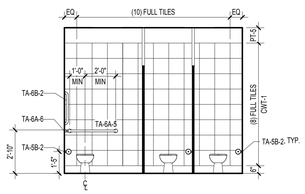
D1 ENLARGED PLAN - MEN'S TOILET
1/4" = 1'-0"



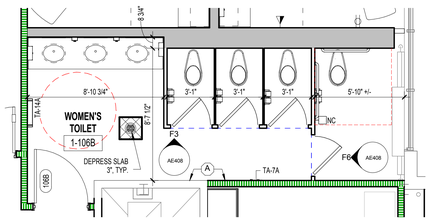
D2 MEN'S TOILET 1-104
1/4" = 1'-0"



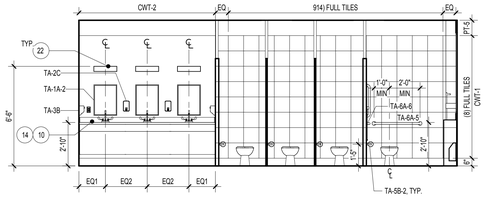
D3 MEN'S TOILET 1-104
1/4" = 1'-0"



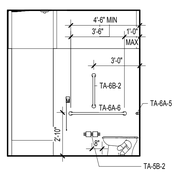
D5 MEN'S TOILET 1-104
1/4" = 1'-0"



F1 ENLARGED PLAN - WOMEN'S TOILET
1/4" = 1'-0"



F3 WOMEN'S TOILET
1/4" = 1'-0"



F6 WOMEN'S TOILET
1/4" = 1'-0"

ARCHITECTURAL GENERAL NOTES

1. SEE SHEET AE704 FOR EQUIPMENT SCHEDULE.
2. SEE SHEET AE701 FOR DOOR SCHEDULE.
3. SEE SHEET AE701 FOR WINDOW SCHEDULE.
4. SEE SHEET AE702 FOR TOILET ACCESSORY SCHEDULE.
5. SEE SHEET AE704 FOR FINISH SCHEDULE.

TOILET ROOM GENERAL NOTES

1. ALL TOILET PARTITIONS TO BE WALL HUNG WITH CEILING MOUNTED SUPPORTS.

INTERIOR ELEVATION KEYNOTES

1. PLASTIC LAMINATE FILLER PANEL.
2. FINISH EXPOSED SIDE OF BASE / WALL CABINET WITH PLASTIC LAMINATE. (TYP)
3. PLASTIC LAMINATE END PANEL.
4. 1" PLASTIC LAMINATE SUPPORT LEG.
5. PLASTIC LAMINATE FASCIA PANEL ABOVE WALL CABINET, TYPICAL.
6. PLASTIC WALL PROTECTION.
7. CORNER GUARD.
8. HANDRAIL MOUNT TOP AT 3'-0" A.F.F.
9. CRASH RAIL, MOUNT TOP AT 3'-0" A.F.F.
10. SOLID SURFACE COUNTERTOP.
11. SOLID SURFACE TRANSACTION SHELF.
12. FABRIC WRAP TACK BOARD.
13. WINDOW SILL TO BE CLEANED AND RETURNED TO ORIGINAL FINISH
14. 4" HIGH SOLID SURFACE BACK AND SIDE SPLASHES.
15. LOCKER ROOM BENCH, TO BE RELOCATED FROM BUILDING 58.
16. SCHEDULED BASE AT RECESSED TOE KICK.
17. SCHEDULED BASE.
18. CONTINUOUS WIRE MOLD, REFER TO ELECTRICAL DRAWINGS.
19. CONTINUOUS "J" HANGER.
20. SEGMENTED REMOVABLE ACCESS PANEL.
21. TASK LIGHTING
22. WALL SCONCE
23. GYPSUM WALLBOARD SOFFIT. COORDINATE HEIGHT WITH SOUND BOOTH SELECTED BY VA.
24. STORAGE CABINET, NOT IN CONTRACT.
25. BOOKCASE, NOT IN CONTRACT.
26. METAL LOCKERS WITH SLOPED TOP, SEE SPECIFICATIONS.
27. GYPSUM WALLBOARD SOFFIT
28. MILLWORK TO BE LOCKABLE
29. LAMINATE AND TEMPERED GLASS
30. CUBICLE CURTAIN AND TRACK
31. METAL SUPPORT BRACKET
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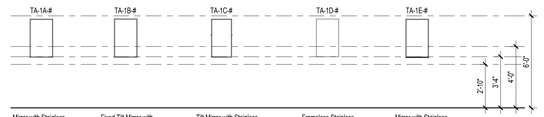
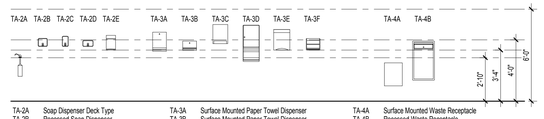
TOILET ACCESSORIES LEGEND

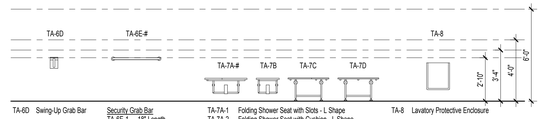


Mirror with Stainless Steel Frame		Fixed Tilt Mirror with Stainless Steel Frame		Tilt Mirror with Stainless Steel Frame		Frameless Stainless Steel Mirror		Mirror with Stainless Steel Frame and Shelf	
TA-1A-1	16"x24"	TA-1B-1	16"x30"	TA-1C-1	16"x24"	TA-1D-1	16"x20"	TA-1E-1	18"x24"
TA-1A-2	18"x24"	TA-1B-2	18"x30"	TA-1C-2	18"x30"	TA-1D-2	18"x24"	TA-1E-2	18"x30"
TA-1A-3	18"x30"	TA-1B-3	18"x36"			TA-1D-3	18"x30"	TA-1E-3	18"x36"
TA-1A-4	18"x36"	TA-1B-4	24"x36"			TA-1D-4	24"x36"	TA-1E-4	24"x36"
TA-1A-5	24"x30"								
TA-1A-6	24"x36"								
TA-1A-7	24"x48"								
TA-1A-8	24"x60"								
TA-1A-9	36"x36"								
TA-1A-10	48"x36"								
TA-1A-11	60"x36"								



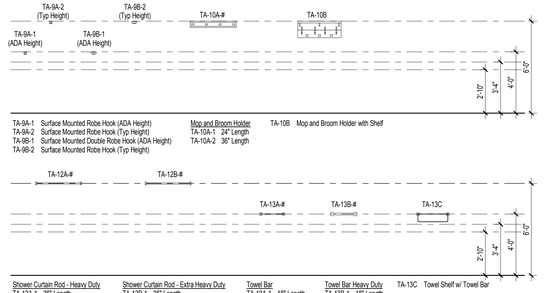
TA-2A	Soap Dispenser Deck Type	TA-3A	Surface Mounted Paper Towel Dispenser	TA-4A	Surface Mounted Waste Receptacle
TA-2B	Recessed Soap Dispenser	TA-3B	Surface Mounted Paper Towel Dispenser	TA-4B	Recessed Waste Receptacle
TA-2C	Surface Mounted Soap Dispenser	TA-3C	Surface Mounted Roll Towel Dispenser		
TA-2D	Surface Mounted Soap Dispenser	TA-3D	Recessed Paper Towel Dispenser		
TA-2E	Surface Mounted Soap Dispenser	TA-3E	Surface Mounted Paper Towel Dispenser		
		TA-3F	Surface Mounted Paper Towel Dispenser		

TA-5A-1	Single-Roll Toilet Tissue Dispenser	Grab Bar Horizontal		Grab Bar Vertical		Two-Wall Grab Bar Horizontal	
TA-5A-2	Single-Roll Toilet Tissue Dispenser	TA-6A-1	12" Length	TA-6B-1	18" Length	TA-6C-1	15-7/8" x 30 7/8"
TA-5B-1	Double-Roll Toilet Tissue Dispenser	TA-6A-2	18" Length	TA-6B-2	24" Length	TA-6C-2	24" x 36"
TA-5B-2	Double-Roll Toilet Tissue Dispenser	TA-6A-3	24" Length			TA-6C-3	36" x 54"
TA-5C	Recessed Multi-Roll Toilet Tissue Dispenser	TA-6A-3A	24" Length Tub Lower Bar			TA-6C-4	42" x 54"
TA-5D	Toilet Paper Holder - Psych Safe	TA-6A-4	30" Length			TA-6C-5	Custom Lengths
		TA-6A-4A	30" Length Tub Lower Bar				
		TA-6A-5	36" Length				
		TA-6A-5A	36" Length Tub Lower Bar				
		TA-6A-6	42" Length				
		TA-6A-6A	42" Length Tub Lower Bar				
		TA-6A-7	48" Length				
		TA-6A-7A	48" Length Tub Lower Bar				



TA-6D	Swing-Up Grab Bar	Security Grab Bar		TA-7A-1	Folding Shower Seat with Slots - L Shape
		TA-6E-1	18" Length	TA-7A-2	Folding Shower Seat with Cushion - L Shape
		TA-6E-2	24" Length	TA-7B	Folding Shower Seat - Compact Design
		TA-6E-3	24" Length	TA-7C	Folding Shower Seat - Bariatric - L Shape
		TA-6E-4	36" Length	TA-7D	Folding Shower Seat - Bariatric - Rectangular Shape
		TA-6E-5	42" Length		
		TA-6E-6	60" Length		

TA-8 Lavatory Protective Enclosure



TA-9A-1	Surface Mounted Robe Hook (ADA Height)	Mop and Broom Holder		TA-10B	Mop and Broom Holder with Shelf		
TA-9A-2	Surface Mounted Robe Hook (Typ Height)	TA-10A-1	24" Length				
TA-9B-1	Surface Mounted Double Robe Hook (ADA Height)	TA-10A-2	36" Length				
TA-9B-2	Surface Mounted Robe Hook (Typ Height)						

Shower Curtain Rod - Heavy Duty		Shower Curtain Rod - Extra Heavy Duty		Towel Bar		Towel Bar Heavy Duty		TA-13C Towel Shelf w/ Towel Bar
TA-12A-1	36" Length	TA-12B-1	36" Length	TA-13A-1	18" Length	TA-13B-1	18" Length	
TA-12A-2	48" Length	TA-12B-2	48" Length	TA-13A-2	24" Length	TA-13B-2	24" Length	
TA-12A-3	60" Length	TA-12B-3	60" Length					
TA-12A-4	72" Length	TA-12B-4	72" Length					

NOTES:

1. ADA REQUIRES THAT MOUNTING HEIGHTS FOR BARRIER FREE DESIGN BE SO LOCATED THAT THE OPERATIVE PORTION (I.E. PUSH KNOB, TOWELS SLOT) BE NO HIGHER THAN 40" FROM FINISHED FLOOR, GRAB BARS BE BETWEEN 33" AND 36" AND COIN SLOTS BE NO HIGHER THAN 48" FROM FINISHED FLOOR.
2. TOILET ACCESSORIES DESIGN VARIES BY MANUFACTURER. SEE MANUFACTURER MOUNTING HEIGHT REQUIREMENTS FOR ROUGH-INS DIMENSIONS AND LOCATION.

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: FIRST FLOOR ENLARGED PLAN - TOILET ROOMS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

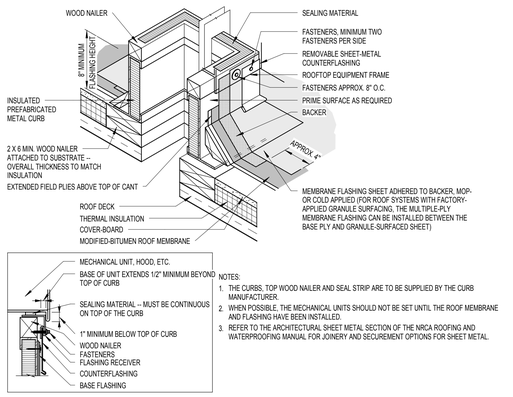
VA Project Number	Building Number	Drawing Number
542-CSI-203	69	AE408

Dwg. 30 of 86

Office of Facilities Management

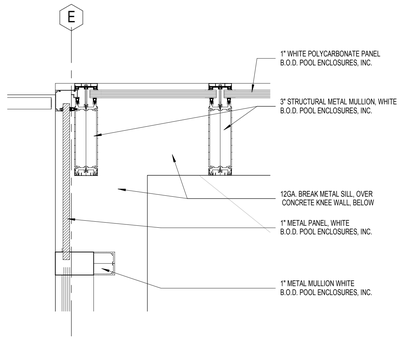
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

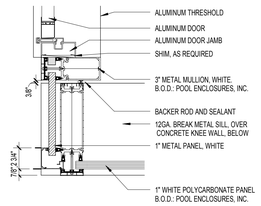


NOTES:
1. THE CURBS, TOP WOOD NAILER AND SEAL STRIP ARE TO BE SUPPLIED BY THE CURB MANUFACTURER.
2. WHEN POSSIBLE, THE MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED.
3. REFER TO THE ARCHITECTURAL SHEET METAL SECTION OF THE NRCA ROOFING AND WATERPROOFING MANUAL FOR JOINERY AND SECUREMENT OPTIONS FOR SHEET METAL.

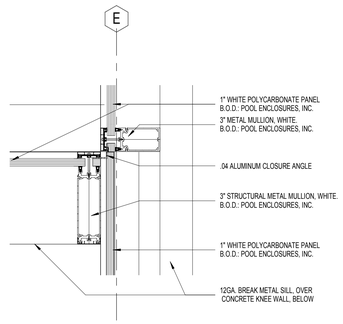
B1 MOP OR COLD-APPLIED FLASHING AT INSULATED PREFABRICATED METAL CURB
1 : 6



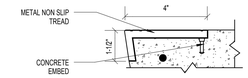
B3 DETAIL @ POOL ENCLOSURE CORNER
1 1/2" = 1'-0"



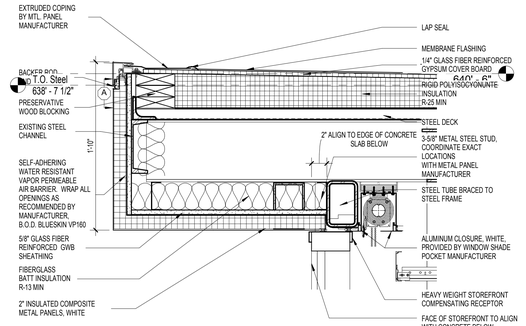
B5 DETAIL @ MECHANICAL AREA DOOR ABOVE KNEE WALL
1 1/2" = 1'-0"



C6 DETAIL @ POOL ENCLOSURE JOINT
1 1/2" = 1'-0"



A7 CONCRETE STAIR NOSING DETAIL
1" = 1'-0"

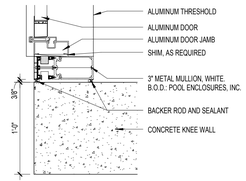


C7 DETAIL @ STAFF BREAK
1 1/2" = 1'-0"

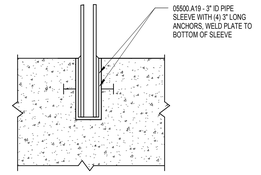
D1 DETAIL @ SKYLIGHT
1 1/2" = 1'-0"

D2 DETAIL @ SKYLIGHT
1 1/2" = 1'-0"

D6 DETAIL @ POOL ENCLOSURE CONNECTION TO BRICK WALL
1 1/2" = 1'-0"



D7 DETAIL @ MECHANICAL AREA DOOR
1 1/2" = 1'-0"



D8 CONCRETE STAIR HANDRAIL ANCHORING DETAIL
1" = 1'-0"

NOTES:
1. THE JOINTS IN THE SHEET-METAL COUNTERFLASHING SHOULD NOT BE SOLDERED.

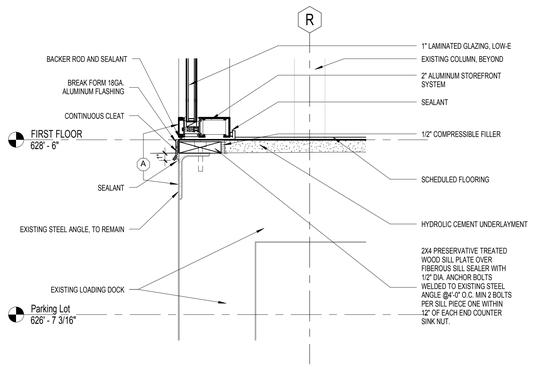
F1 BASE FLASHING AT WALL SUPPORTED DECK
1 : 6

NOTES:
1. MEMBRANE SEAMS SHOULD NOT INTERSECT DRAIN CLAMPING RING.
2. REFER TO THE BUR/MB INTRODUCTION OF THE NRCA ROOFING MANUAL FOR ADDITIONAL INFORMATION.

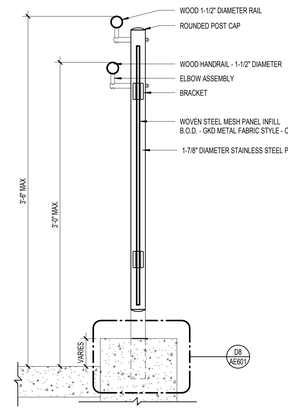
F2 SECTION AT ROOF DRAIN
1 : 6

NOTES:
1. REFER TO THE ARCHITETURAL SHEET METAL SECTION OF THE NRCA ROOFING AND WATERPROOFING MANUAL FOR JOINERY AND SECUREMENT OPTIONS FOR SHEET METAL.
2. REFER TO THE EPDM/SP INTRODUCTION OF THE NRCA ROOFING MANUAL FOR ADDITIONAL INFORMATION.

F4 BASE FLASHING W/ SURFACE-MOUNTED COUNTERFLASHING AT CONRETE WALL
N.T.S.



F6 DETAIL AT STAFF BREAK
1 1/2" = 1'-0"



F8 TYPICAL RAILING SECTION
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: EXTERIOR AND ROOF DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13 | Checked: TN | Drawn: BG

VA Project Number: 542-CSI-203

Building Number: 69

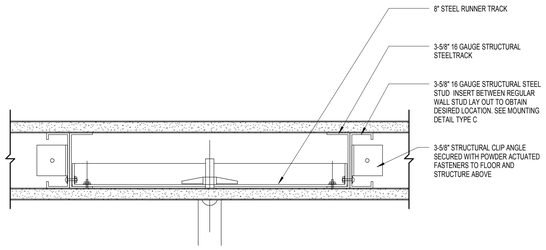
Drawing Number: AE601

Dwg. 31 of 86

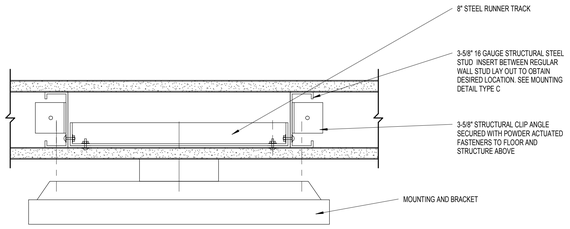
Office of Facilities Management

Department of Veterans Affairs

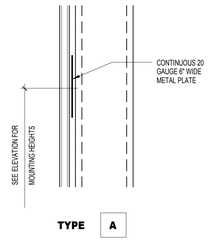
VA FORM 08-6231, OCT 1978



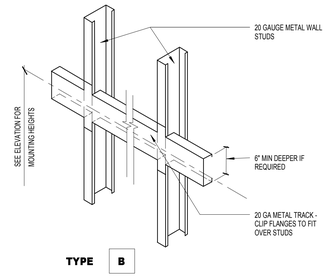
C1 TV AND ARM MOUNTING BRACKET PLAN VIEW DETAIL
3" = 1'-0"



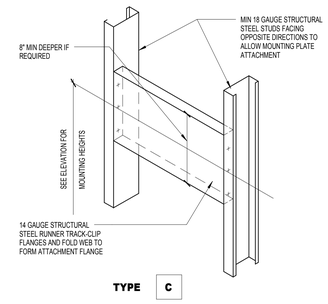
D1 TV MOUNTING BRACKET PLAN VIEW DETAIL - SURFACE MOUNTED
3" = 1'-0"



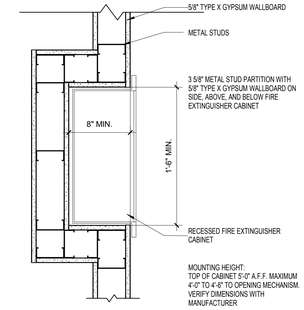
D3 ACCESSORY/EQUIPMENT MOUNTING DETAIL TYPE A
3/8" = 1'-0"



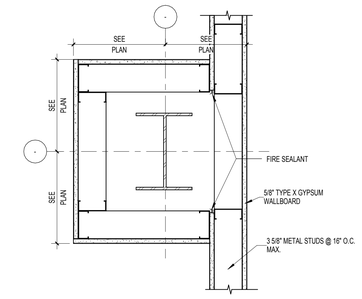
D5 ACCESSORY/EQUIPMENT MOUNTING DETAIL TYPE B
3/8" = 1'-0"



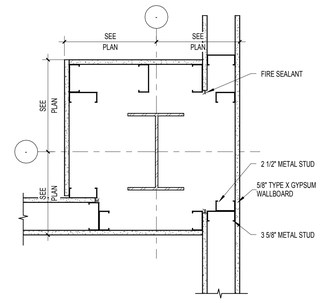
D6 ACCESSORY/EQUIPMENT MOUNTING DETAIL TYPE C
3/8" = 1'-0"



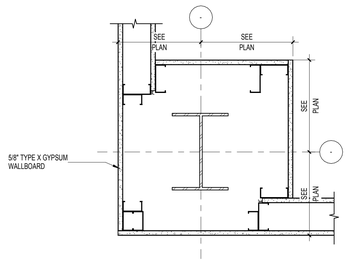
D8 FIRE EXTINGUISHER CABINET
1 1/2" = 1'-0"



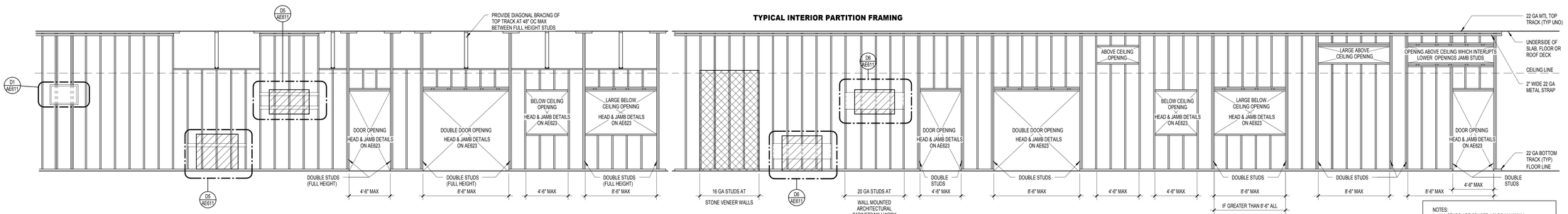
B4 RATED COLUMN JOINT DETAIL 3
1 1/2" = 1'-0"



B6 RATED COLUMN JOINT DETAIL 2
1 1/2" = 1'-0"



B8 RATED COLUMN JOINT DETAIL
1 1/2" = 1'-0"



F1 TYPICAL INTERIOR PARTITION FRAMING
1/4" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

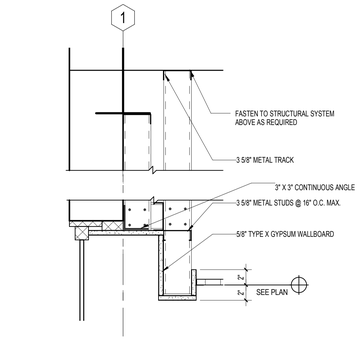
Project Number	Scale
3627	As indicated

Drawing Title	FRAMING DETAILS
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE611
Dwg. 32 of 86	

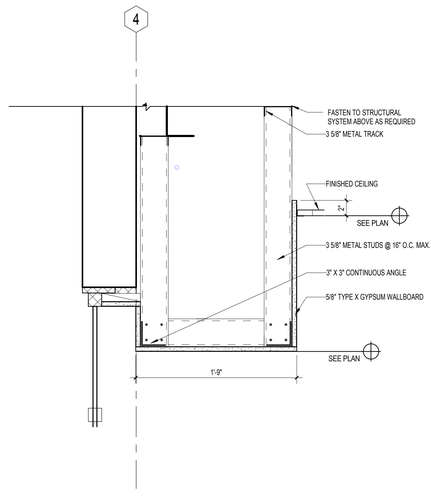
Office of Facilities Management

Department of Veterans Affairs

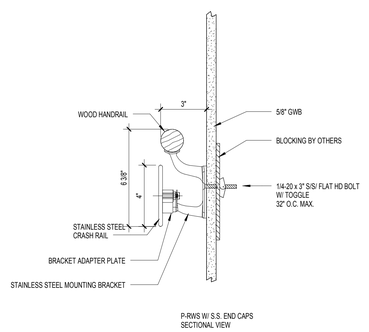
VA FORM 08-6231, OCT 1978



C1 DETAIL @ WINDOW
1 1/2" = 1'-0"

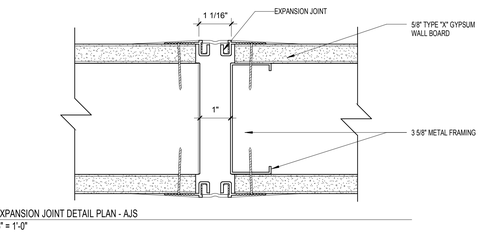


C2 DETAIL @ WINDOW POCKET
1 1/2" = 1'-0"

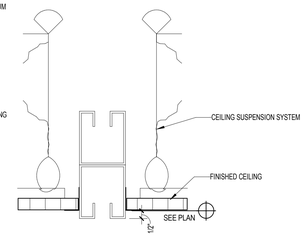


P-RWS W/ S.S. END CAPS
SECTIONAL VIEW

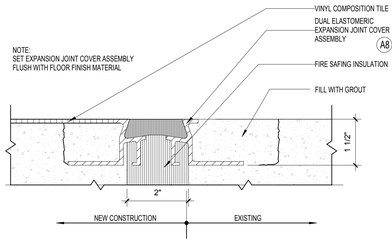
C4 P-RWS
3" = 1'-0"



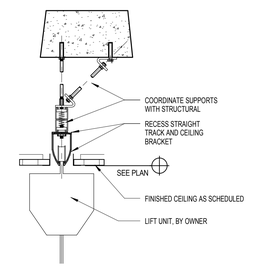
A6 EXPANSION JOINT DETAIL PLAN - AJS
6" = 1'-0"



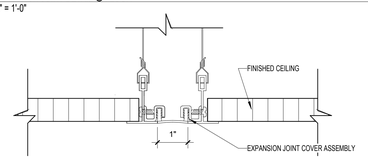
A8 CEILING DETAIL AT UNISTRUT
3" = 1'-0"



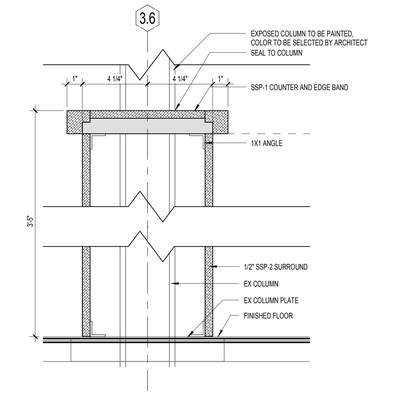
B6 EXPANSION JOINT DETAIL @ FLOOR
6" = 1'-0"



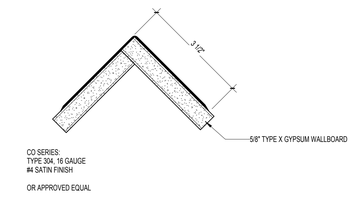
C8 BARIATRIC PATIENT LIFT DETAIL
1 1/2" = 1'-0"



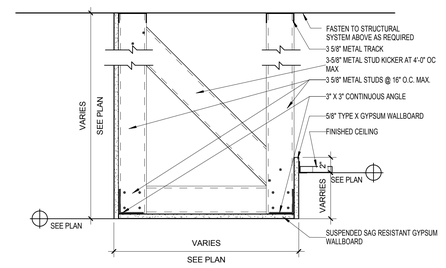
C6 EXPANSION JOINT DETAIL IN CEILING
6" = 1'-0"



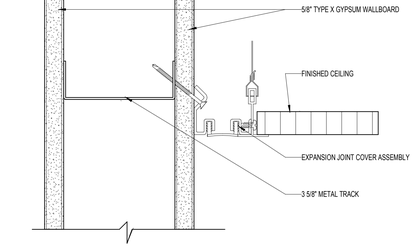
E1 COLUMN SECTION
3" = 1'-0"



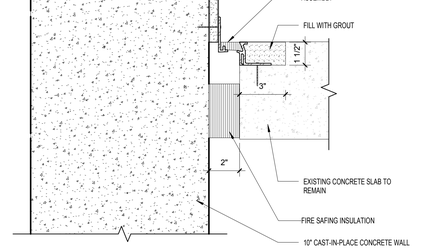
E2 STAINLESS STEEL CORNER GUARD
6" = 1'-0"



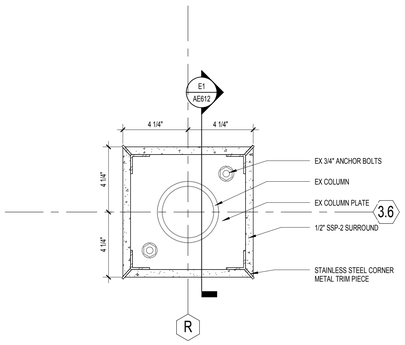
E4 SOFFIT DETAIL
1 1/2" = 1'-0"



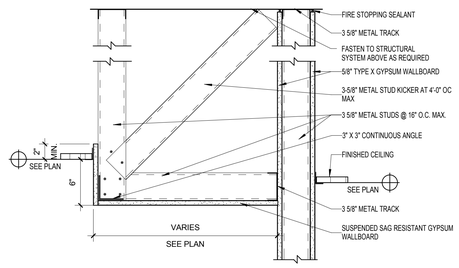
E6 EXPANSION JOINT DETAIL AT PERIMETER CEILING
6" = 1'-0"



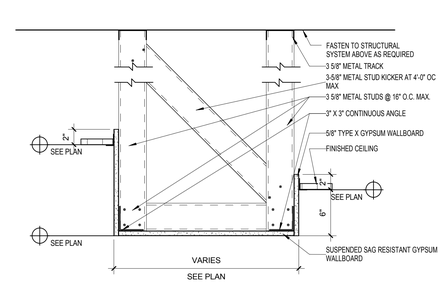
E8 EXPANSION JOINT DETAIL @ CONCRETE WALL
3" = 1'-0"



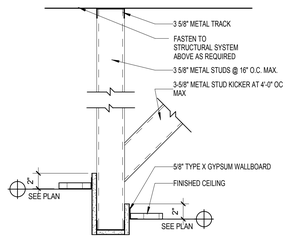
F1 EX COLUMN WRAP DETAIL
3" = 1'-0"



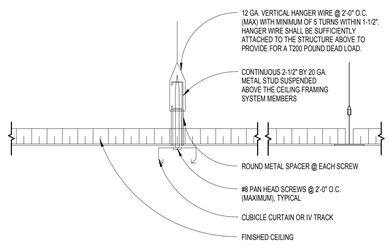
F2 SOFFIT DETAIL 2
1 1/2" = 1'-0"



F4 SOFFIT DETAIL 3
1 1/2" = 1'-0"



F6 SOFFIT DETAIL 4
1 1/2" = 1'-0"



NOTE:
1. CONTRACTOR TO VERIFY CUBICLE CURTAIN TRACK CLEARANCE WITH LIGHT FIXTURES, MECHANICAL DIFFUSERS AND SPRINKLER HEADS
2. PROVIDE SUFFICIENT HANGING SUPPORT TO THE CEILING TRACK AND/OR WOOD BLOCKING SO THE CUBICLE CURTAIN TRACK WILL SUPPORT THE WEIGHT REQUIRED IN THE SPECIFICATIONS.

F8 ATTACHMENT OF CUBICLE CURTAIN TRACK
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA. 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA. 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N.DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA. 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA. 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: INTERIOR DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

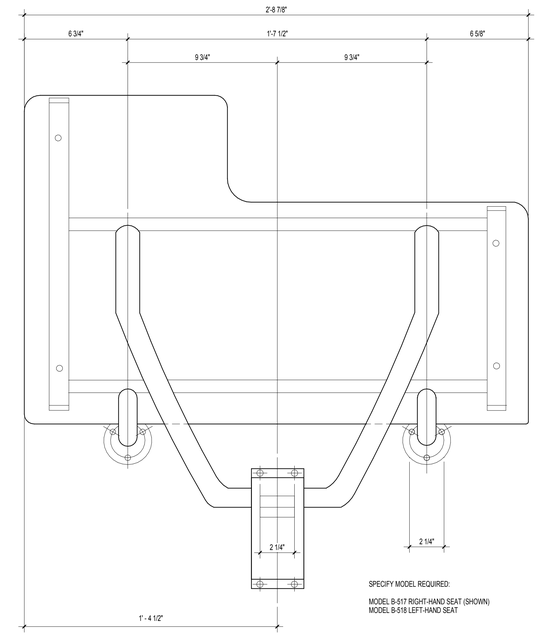
Drawing Number: AE612

Dwg. 32 of 86

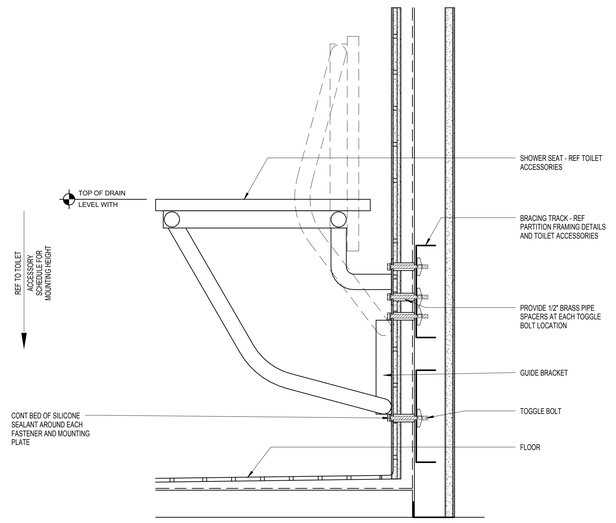
Office of Facilities Management

Department of Veterans Affairs

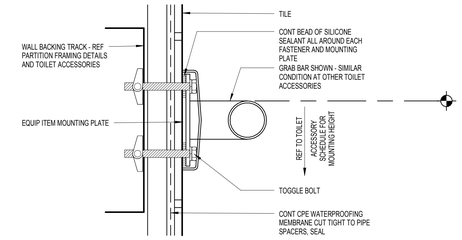
VA FORM 08-6231, OCT 1978



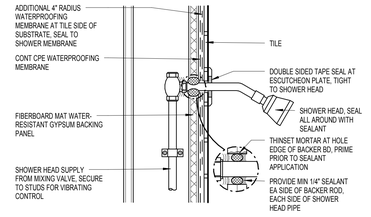
C1 SHOWER SEAT DETAIL - PLAN
3" = 1'-0"



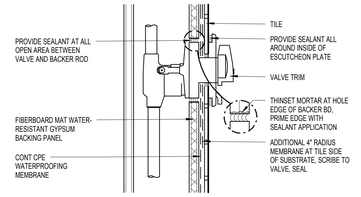
C3 SHOWER SEAT DETAIL - SECTION
3" = 1'-0"



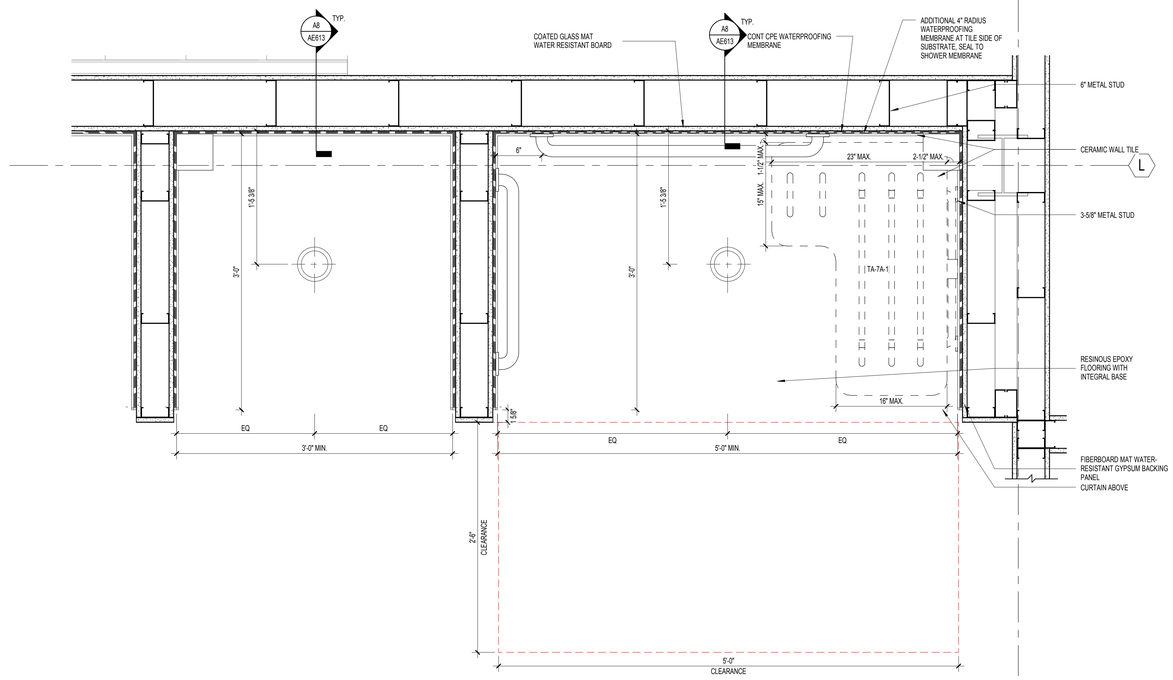
A6 GRAB BAR DETAIL AT TILED WALL
6" = 1'-0"



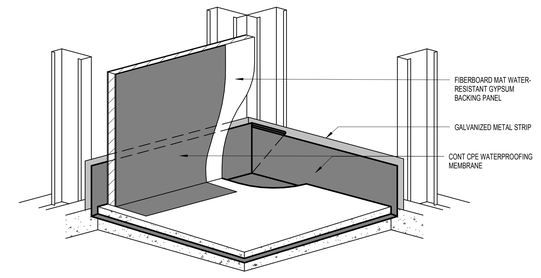
A8 SHOWER HEAD PENETRATION DETAIL
3" = 1'-0"



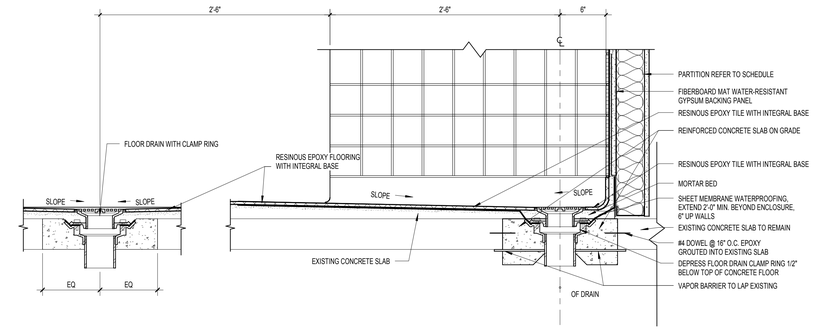
B8 SHOWER CONTROL VALVE PENETRATION DETAIL
3" = 1'-0"



F1 TYPICAL SHOWER PLAN DETAIL
1 1/2" = 1'-0"



D7 FOLDED CORNER AT RECESSED SHOWER
1 1/2" = 1'-0"



F6 HANDICAPPED SHOWER SECTION @ EXISTING CONSTRUCTION
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	3453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

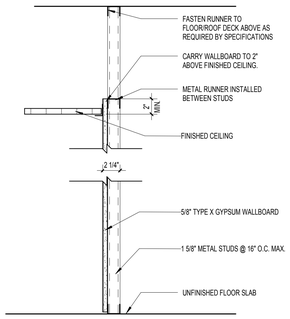
Project Number	Scale
3627	As indicated

Drawing Title	SHOWER DETAILS
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE613
Dwg.	34 of 86

Office of Facilities Management

Department of Veterans Affairs

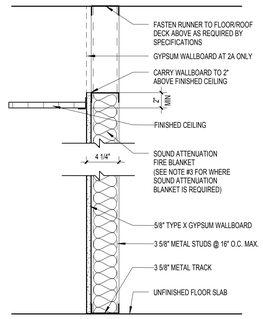
VA FORM 08-6231, OCT 1978



TYPE 1

TYPE 1A SAME AS TYPE 1 EXCEPT 2 1/2" METAL STUDS

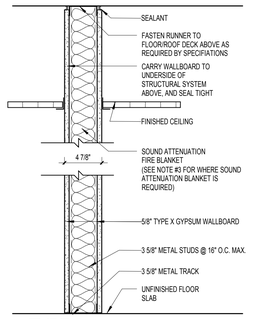
TYPE 1B SAME AS TYPE 1 EXCEPT HIGH IMPACT GWB W/ STUDS @ 12" O.C.



TYPE 2

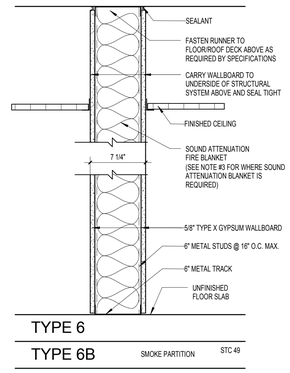
TYPE 2A SAME AS TYPE 2 EXCEPT CARRY GYPSUM WALLBOARD TO FLOOR/ ROOF DECK ABOVE

TYPE 2B SAME AS TYPE 2 EXCEPT 6" METAL STUDS @ 16" O.C.



TYPE 5

STC 49



TYPE 6

TYPE 6B SMOKE PARTITION

STC 49

EXISTING PARTITION TYPE LEGEND

EXISTING PARTITION TO REMAIN WITH ONE HOUR FIRE RATING. CONTRACTOR TO INSPECT AND SURVEY EXISTING CONDITION OF PARTITION AND PERFORM ALL NECESSARY WORK REQUIRED TO ACHIEVE THE FIRE RATING FROM FLOOR TO STRUCTURE ABOVE. CONTRACTOR TO USE MATERIALS IDENTICAL TO EXISTING MATERIALS OR MATERIALS WHOSE INSTALLED PERFORMANCE WILL EQUAL OR SURPASS THAT OF EXISTING MATERIALS.

TYPE A

EXIST. 1 HOUR FIRE RATED PARTITION

PARTITION TYPES GENERAL NOTES

1. ALL FIRE RATED AND SMOKE BARRIER PARTITIONS MUST BE INSTALLED PER THEIR UL DESIGN NUMBERS.

2. INSTALL FIRE SEALANT AROUND THE ENTIRE PERIMETER TO PREVENT THE PASSAGE OF SMOKE IN ALL RATED AND SMOKE PARTITIONS.

3. INSTALL SOUND ATTENUATION BLANKET IN ALL PARTITIONS THAT FORM ANY PART OF THE ENCLOSURE OF THE FOLLOWING ROOMS: PATIENT ROOMS, TOILET ROOMS, EXAM ROOMS, TREATMENT ROOMS, OFFICES AND MECHANICAL ROOMS. THESE PARTITIONS SHALL HAVE 3-1/2" FIBERGLASS BATT SOUND ATTENUATION BLANKETS AND MEET MINIMUM SOUND TRANSMISSION RATING OF STC 45. USE ACOUSTICAL SEALANT AROUND THE ENTIRE PERIMETER ON NON-RATED PARTITIONS.

4. REPLACE 5/8" GYPSUM WALLBOARD WITH 5/8" DENS-SHIELD IN ALL AREAS TO RECEIVE CERAMIC TILE. SKIM COAT ENTIRE SURFACE NOT COVER BY TILE.

5. REPLACE 5/8" GYPSUM WALLBOARD WITH 5/8" MOISTURE AND MOLD-RESISTANT GYPSUM WALL BOARD ON ALL PLUMBING WALL OTHER THAN THOSE COVERED IN NOTE # 4 ABOVE.

6. FOR HEIGHTS UP TO AND INCLUDING 14'-0" TYPICAL INTERIOR METAL STUDS ARE 20 GA. AT 16" O.C.; FOR HEIGHTS ABOVE 14'-0", USE 18 GA AT 16" O.C.; USE DOUBLE 20 GA. STUDS AT DOORS AND BORROWED LIGHT FRAMES; USE DOUBLE 18 GA. STUDS AT ICU SLIDING DOORS AND LEAD LINED DOORS AND BORROWED LIGHT FRAMES.

7. NOTIFY ARCHITECT OF WORK TO BE PERFORMED ON EXISTING PARTITIONS AND PROVIDE PRICING ACCORDING TO UNIT PRICES OUTLINED IN SPECIFICATION SECTION 012200.

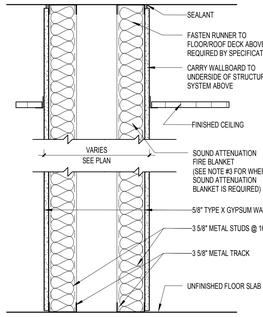
8. INSTALL SUPPLEMENTARY FRAMING, BLOCKING, AND BRACING IN PARTITIONS TO SUPPORT FIXTURES, EQUIPMENT SERVICES, HEAVY TRIM, GRAB BARS, TOILET ACCESSORIES, DOOR HARDWARE, FURNISHINGS, OR SIMILAR CONSTRUCTION. COMPLY WITH DETAILS INDICATED AND WITH RECOMMENDATIONS OF "GYPSUM CONSTRUCTION HANDBOOK".

9. WHEN INFILLING OR ABUTTING EXISTING PARTITIONS CONTRACTOR TO ADD AN ADDITIONAL LAYER OF GYPSUM WALLBOARD TO PARTITION TYPE AND/OR SKIM COAT WALL AS REQUIRED TO PROVIDE A FLUSH SURFACE. THICKNESS OF GYPSUM WALLBOARD AND / OR STUD SIZE TO BE DETERMINED IN FIELD TO PROVIDE A FLUSH SURFACE.

10. EXTEND ALL WALLS TO UNDERSIDE OF STRUCTURE ABOVE. PROVIDE SLIP TRACK AT TOP OR ANOTHER APPROVED METHOD TO ALLOW FOR A 1" DEFLECTION OF THE STRUCTURE.

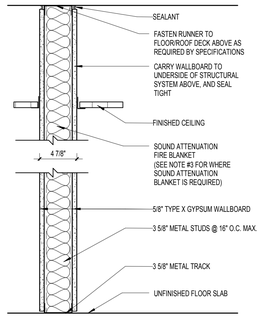
11. INSTALL LEAD LINING ON SIDE OF PARTITION WHERE RADIATION EMITTING EQUIPMENT IS LOCATED. LEAD LINING IS NOT REQUIRED ABOVE 7'-0" FROM THE FINISHED FLOOR.

12. LEAD LINING THICKNESS TO BE 1/16" UNLESS OTHERWISE NOTED.



TYPE 7 PLUMBING CHASE

TYPE 7A SAME AS TYPE 7 BUT SMOKE PARTITION

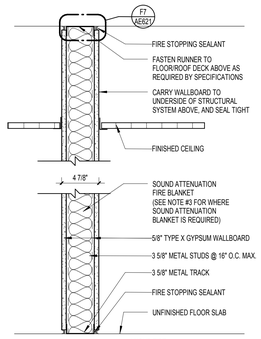


TYPE 9 SMOKE PARTITION

STC 49

TYPE 9A SAME AS TYPE 9 EXCEPT 6" STUDS

STC 49

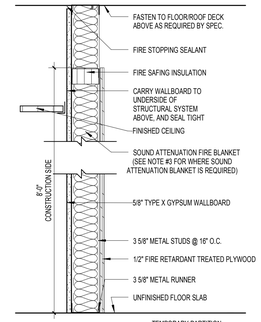


TYPE 10 1 HOUR FIRE RATED WALL — UL DES U465/U419

STC 49

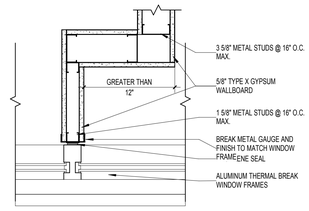
TYPE 10A 1 HOUR RATED SMOKE BARRIER — UL DES U465/U419

STC 49

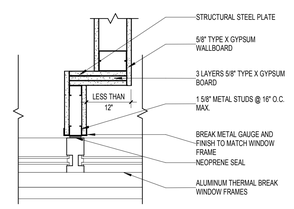


TYPE T TEMPORARY PARTITION

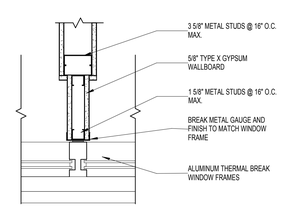
CONSTRUCT PARTITION TO BE SOLID AND SEALED AT ENTIRE PERIMETER TO PREVENT THE TRANSMISSION OF DUST



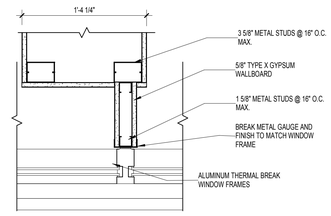
E4 DETAIL @ WINDOW INTERSECTION (GREATER THAN 12 IN.)
1 1/2" = 1'-0"



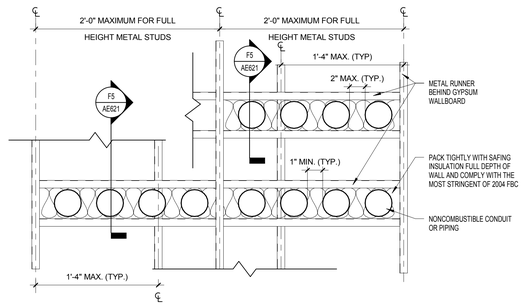
E5 DETAIL @ WINDOW INTERSECTION (LESS THAN 12 IN.)
1 1/2" = 1'-0"



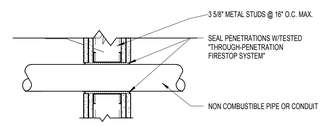
E7 DETAIL @ WINDOW INTERSECTION
1 1/2" = 1'-0"



E8 DETAIL @ WINDOW INTERSECTION AND PLUMBING CHASE
1 1/2" = 1'-0"

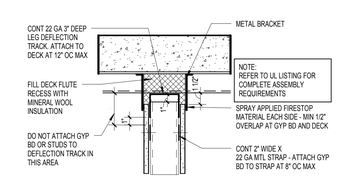


F2 TYPICAL MULTIPLE NONCOMBUSTIBLE CONDUIT OR PIPE PENETRATION THROUGH RATED FIRE WALLS AND/OR RATED SMOKE WALLS
1 1/2" = 1'-0"



NOTES:
1. IF ANY PIPES ARE TO BE INSULATED, DO NOT RUN INSULATION THROUGH A RATED AND/OR RATED SMOKE WALL. AFTER SEALING PENETRATIONS AROUND PIPE THROUGH WALL WITH "THROUGH PENETRATION FIRESTOP SYSTEM", FLARE INSULATION ONTO FACE OF WALL AROUND PIPE ON BOTH SIDES OF WALL, AND SEAL TO FACE OF WALL WITH INSULATION MASTIC.
2. COMBUSTIBLE CONDUIT AND/OR PIPE IS NOT ALLOWED
3. THIS IS A TYPICAL ARRANGEMENT. REPEAT THIS PROCEDURE AS NEEDED TO ACCOMODATE ALL NONCOMBUSTIBLE CONDUIT AND PIPE PENETRATIONS THROUGH THE WALLS.

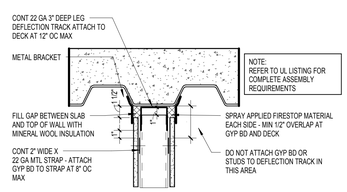
F5 PIPE PENETRATION DETAIL
1 1/2" = 1'-0"



FLUTED STEEL DECK/CONCRETE FLOOR OR ROOF PERPENDICULAR OR DIAGONAL TO FLUTES

ONE HOUR FIRE RATED AND ONE HOUR FIRE RATED SMOKE BARRIER UL-HW-D-0107

F7 PARTITION HEAD DETAILS 2
1 1/2" = 1'-0"



FLUTED STEEL DECK/CONCRETE FLOOR OR ROOF PARALLEL TO FLUTES

ONE HOUR FIRE RATED AND ONE HOUR FIRE RATED SMOKE BARRIER UL-HW-D-0107

F8 PARTITION HEAD DETAILS
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

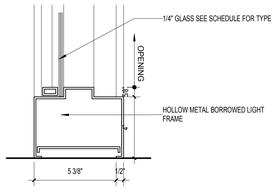
Project Number	Scale
3627	As indicated

Drawing Title	PARTITION TYPES
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE621
Dwg.	35 of 86

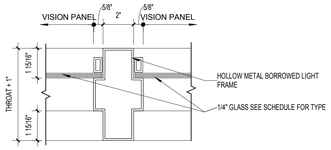
Office of Facilities Management

Department of Veterans Affairs

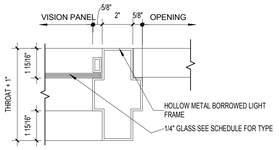
VA FORM 08-6231, OCT 1978



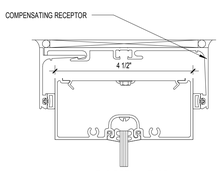
B1 BORROWED LIGHT FRAME DETAIL - TYPE J
3" = 1'-0"



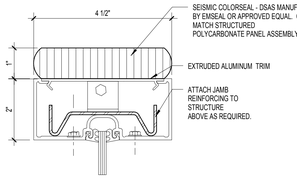
C1 BORROWED LIGHT FRAME DETAIL - TYPE H
3" = 1'-0"



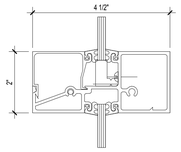
D1 BORROWED LIGHT FRAME DETAIL - TYPE G
3" = 1'-0"



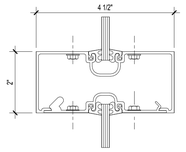
HEAD DETAIL - TYPE 1



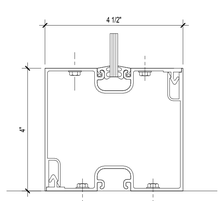
JAMB REINFORCED - TYPE 8



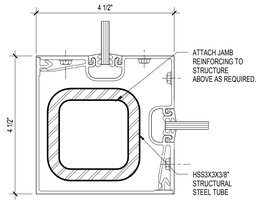
HORIZONTAL MULLION - TYPE 2



VERTICAL MULLION - TYPE 5



SILL DETAIL - TYPE 3



CORNER DETAIL - REINFORCED - TYPE 6

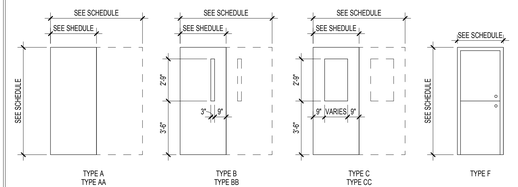
NOTE: PROVIDE 1" INSULATED GLASS AND THERMALLY BROKEN FRAMES AT EXTERIOR WALL

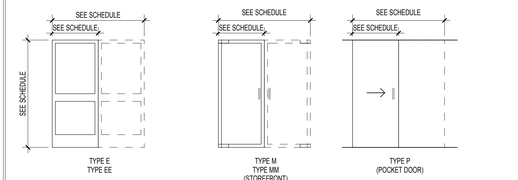
C2 STOREFRONT DETAILS
6" = 1'-0"

DOOR LEGEND

1. NUMBER: SEE FLOOR PLAN FOR DOOR NUMBER

2. DOOR ELEVATION: SEE TYPES BELOW





3. DOOR SIZE:

SEE SCHEDULE FOR WIDTH, HEIGHT AND THICKNESS

4. DOOR MATERIAL:

SCV	= SOLID CORE W/ WOOD VENEER FACES
SCH	= SOLID CORE W/ HARDBOARD FACES
SCP	= SOLID CORE PLASTIC LAMINATE FACES
SCA	= SOLID CORE AGROVYN FACES
HM	= HOLLOW METAL
GHM	= GALVANIZED HOLLOW METAL
AL	= ALUMINUM & GLASS

5. DOOR FINISH:

WTF	= WOOD TRANSPARENT FINISH
WOF	= WOOD OPAQUE FINISH
MGP	= METAL GALVANIZED PAINTED
MP	= METAL PAINTED
AL	= ANODIZED ALUMINUM
PL	= PLASTIC LAMINATE

6. GLASS TYPE:

WG	= 1/4" WIRE GLASS
CTG	= 1/4" CLEAR TEMPERED GLASS
LG	= 1/4" LEADED GLASS
FRG	= 1/4" FIRE RATED GLASS
TL	= 1/4" TRANSLUCENT TEMPERED GLASS
IG	= 1" TEMPERED GLAZING, LOW-E
ILSG	= 1" LOW-E INSULATED, LAMINATED SAFETY GLAZING
MTL	= METAL PANEL

7. FRAME ELEVATION:

SEE HOLLOW METAL ELEVATION LEGEND

8. FRAME MATERIAL:

WD	= WOOD
HM	= HOLLOW METAL
GHM	= GALVANIZED HOLLOW METAL
AL	= ALUMINUM
KD	= HOLLOW METAL KNOCK DOWN FRAME

9. FRAME FINISH:

WTF	= WOOD TRANSPARENT FINISH
WOF	= WOOD OPAQUE FINISH
MGP	= METAL GALVANIZED PAINTED
MP	= METAL PAINTED
AL	= ANODIZED ALUMINUM

10. FRAME DETAILS:

SEE FRAME DETAILS ON SHEET AE623

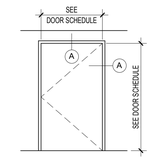
11. UL RATING:

20 M ; 45 M ; 1 H ; 1.5 H ; 2 H ; 3 H

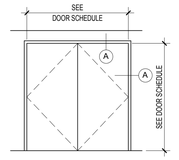
12. HARDWARE SET:

SEE HARDWARE SETS IN SPECIFICATIONS.

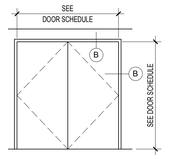
HOLLOW METAL ELEVATIONS LEGEND



TYPE 1



TYPE 3



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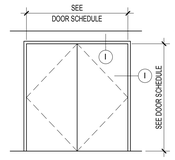
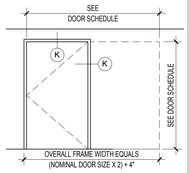
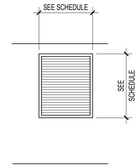


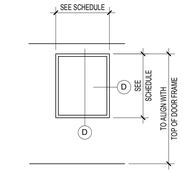
TYPE 5



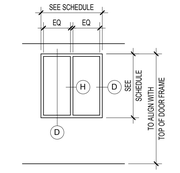
TYPE 7



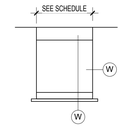
TYPE 20



TYPE 21

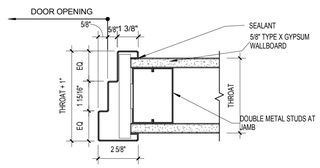


TYPE 22

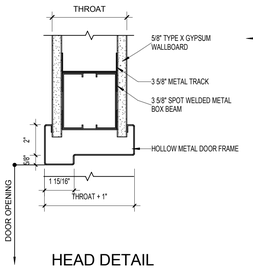


TYPE 25

E1 BORROW LIGHT FRAME DETAIL - TYPE D
3" = 1'-0"

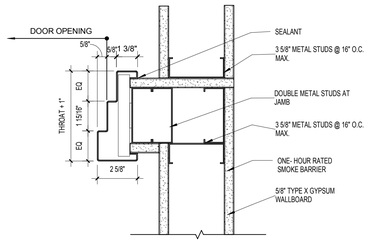


JAMB DETAIL 1

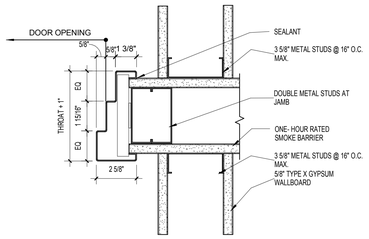


HEAD DETAIL

E2 FRAME DETAIL TYPE V
3" = 1'-0"

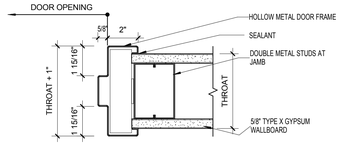


JAMB DETAIL 2

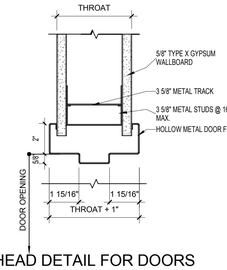


JAMB DETAIL 3

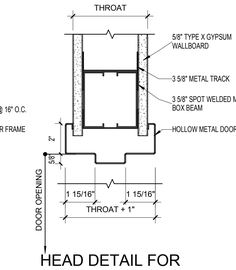
E4 DETAIL TYPE W - BORROWED LIGHT FRAME DETAIL WITH TRANSACTION SHELF
3" = 1'-0"



JAMB DETAIL

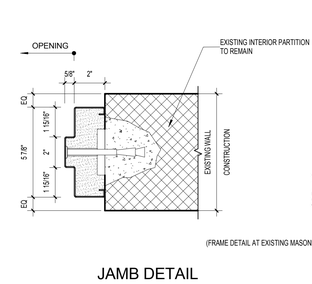


HEAD DETAIL FOR DOORS BELOW 4'-0"

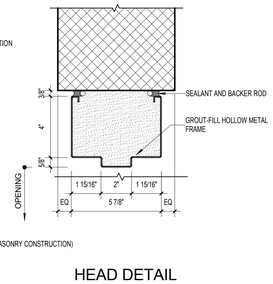


HEAD DETAIL FOR DOORS 4'-0" AND OVER

E7 FRAME DETAIL TYPE K - POCKET DOOR FRAME DETAIL
3" = 1'-0"

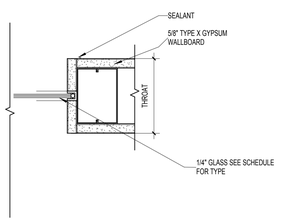


JAMB DETAIL

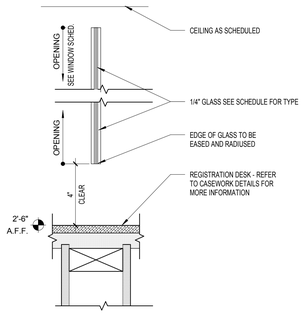


HEAD DETAIL

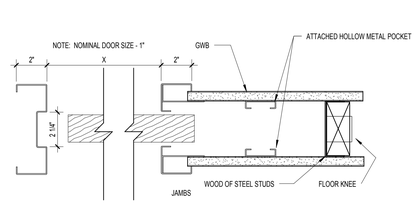
(FRAME DETAIL AT EXISTING MASONRY CONSTRUCTION)

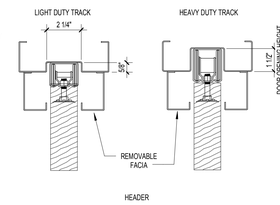


JAMB DETAIL



SILL DETAIL





E1 BORROW LIGHT FRAME DETAIL - TYPE D
3" = 1'-0"

E2 FRAME DETAIL TYPE V
3" = 1'-0"

E4 DETAIL TYPE W - BORROWED LIGHT FRAME DETAIL WITH TRANSACTION SHELF
3" = 1'-0"

E7 FRAME DETAIL TYPE K - POCKET DOOR FRAME DETAIL
3" = 1'-0"

F1 FRAME DETAIL TYPE B
3" = 1'-0"

F6 FRAME TYPE A
3" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: DOOR AND BORROWED LIGHT DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	BG

VA Project Number: 542-CSI-203

Building Number: 69

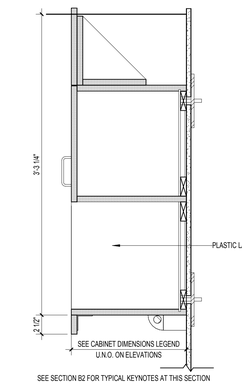
Drawing Number: AE623

Dwg. 36 of 86

Office of Facilities Management

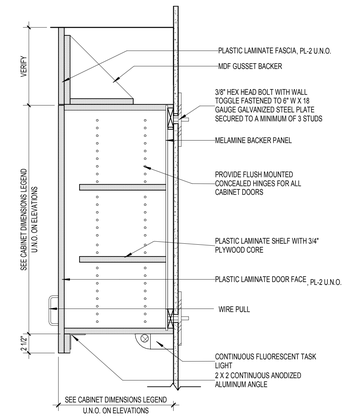
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

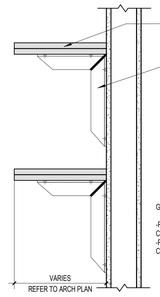


SEE SECTION B2 FOR TYPICAL KEYNOTES AT THIS SECTION

B1 SECTION @ UPPER CABINET WITH MICROWAVE
1 1/2" = 1'-0"



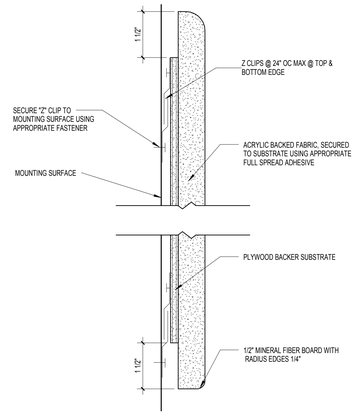
B2 SECTION @ TYP UPPER CABINET
1 1/2" = 1'-0"



GENERAL NOTE:

-RAKKS MODEL EH-1209 FOR USE ON COUNTERS UP TO 13" D
-RAKKS MODEL EH-1212 FOR USE ON COUNTERS UP TO 18" D

B3 SECTION @ SHELVES
1 1/2" = 1'-0"

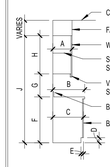


B5 SECTION @ FABRIC WRAPPED PANEL
6" = 1'-0"

CABINET DIMENSIONS LEGEND

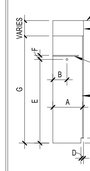
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION.
2. DIMENSIONS IDENTIFIED IN THE THIS LEGEND ARE TYPICAL UNLESS OTHERWISE NOTED IN ELEVATIONS AND OR SECTIONS.

STANDARD CABINETS



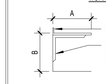
A. 1'-3"
B. TYPICAL - 2'-1"
C. 2'-0"
D. 4"
E. 2"
F. TYPICAL - 2'-10"
G. TYPICAL - 1'-10" AT SINK - 2'-4" AT WORK COUNTER - 2'-2"
H. TYPICAL - 2'-6" AT SINK - 2'-0" AT WORK COUNTER - 2'-6"
J. 7'-2"

FULL HEIGHT CABINETS



A. 1'-1" TO 2'-1" (SEE PLAN)
B. 11"
C. 4"
D. 2"
E. TYPICAL 5'-8" ADA COMPLIANT 3'-10"
F. 2"
G. 7'-2"

WORK COUNTER



A. 2'-6" TYPICAL 2'-1" WHEN ADJACENT TO BASE CABINETS
B. 2'-6"

CASEWORK NOTES

1. THESE NOTES ARE TYPICAL UNLESS OTHERWISE NOTED.
2. ALL CASEWORK TO BE BALANCED CONSTRUCTION.
3. ALL COUNTERTOPS WITH SINKS TO HAVE MOISTURE RESISTANT MDF SUBSTRATE.
4. ALL EXPOSED AND SEMI EXPOSED PARTS, AS DETERMINED IN THE "IDENTIFICATION OF PART NOTES" TO HAVE PLASTIC LAMINATE FINISH.
5. ALL SIX FACES OF ADJUSTABLE SHELVING TO HAVE PLASTIC LAMINATE FINISH.
6. ALL ADJUSTABLE SHELVING TO BE 12" DEEP UNLESS OTHERWISE NOTED.
7. ALL SHELVES TO BE 3/4" THICK MDF FOR SPANS UP TO 3'-0". ADD 3/4" X 1-1/2" SOLID LUMBER DROPPED EDGE FOR SPANS OVER 3'-0" USE.
8. ALL OPEN SPACE SIZES AND KNEE BRACES LOCATIONS TO BE VERIFIED WITH EQUIPMENT TO BE INSTALLED AND WITH ACTUAL ROOM DIMENSIONS.
9. PROVIDE SURFACE MOUNTED WALL BRACKET FOR COUNTERS WITH SPANS GREATER THAN 4'-0" UNLESS NOTED OTHERWISE.
10. ALL PLASTIC LAMINATE JOINTS TO BE NOTED ON SHOP DRAWINGS.
11. 4" BACKSPLASH AND ENDSPLASH TYPICAL UNLESS OTHERWISE NOTED.
12. ALL FINISHED END PANELS AT WALL CABINETS TO BE ONE CONTINUOUS PANEL INCLUDING VALANCE.
13. ALL FINISHED END PANELS AT BASE CABINETS TO BE ONE CONTINUOUS PANEL INCLUDING BASE.
14. ALL FILE CABINETS TO HAVE MINIMUM CLEAR DIMENSIONS TO ACCEPT STD. PENDAFLEX FILE FRAME.
15. ALL EXPOSED CORNERS OF COUNTERTOPS TO HAVE 1" RADIUS AND 3" AT NURSE'S STATION.
16. AT CUTOUTS AND "L" SHAPED COUNTERTOPS, ALL INSIDE CORNERS TO BE SMOOTHLY ROUNDED WITH A MINIMUM CORNER RADIUS OF 1/2".
17. INSTALL GROMMETS IN COUNTER TOPS @ 3'-0" ON CENTER.
18. ALL WALL CABINETS TO HAVE VALANCE UNLESS NOTED OTHERWISE.
19. PULL SHOWN INDICATES POSITION ONLY, SEE CODE FOR HINGE SIDE OF DOOR. LOCATE PULL OPPOSITE HINGE.
20. IN EXISTING PARTITION WHERE METAL PLATE IS REQUIRED TO SUPPORT CABINETS, REMOVE SECTION OF EXISTING GYPSUM WALL BOARD TO INSTALL METAL PLATE.
21. PROVIDE A MINIMUM 1-1/2" FILLER / SCRIBE STRIPS @ JUNCTION BETWEEN ALL BASE AND WALL CABINETS AND ADJACENT WALLS TO ALLOW DOORS TO SWING OPEN AT LEAST 90 DEGREES.
22. ALL MILLWORK TO BE PL-2 AND SSP-2, U.N.O.

IDENTIFICATION OF PARTS NOTES

A. EXPOSED PARTS - SURFACES VISIBLE WHEN:

1. DRAWER FRONTS AND DOORS ARE CLOSED;
2. CABINETS AND SHELVING ARE OPEN-TYPE OR BEHIND CLEAR GLASS DOORS;
3. BOTTOMS OF CABINETS ARE SEEN 42" OR MORE ABOVE FINISHED FLOOR;
4. TOPS OF CABINETS ARE SEEN BELOW 78" ABOVE FINISHED FLOOR, OR ARE VISIBLE FROM AN UPPER FLOOR OR STAIRCASE AFTER INSTALLATION;
5. PORTION OF CABINETS ARE VISIBLE AFTER FIXED APPLIANCES ARE INSTALLED;
6. FRONT EDGES OF CABINET BODY MEMBERS ARE VISIBLE OR SEEN THROUGH A GAP GREATER THAN 1/8" WITH DOORS AND DRAWERS CLOSED.

B. SEMI-EXPOSED PARTS - SURFACES VISIBLE WHEN:

1. DRAWER AND DOORS ARE IN THE OPEN POSITION;
2. BOTTOMS OF CABINETS ARE BETWEEN 30" AND UP TO 42" ABOVE FINISHED FLOOR.
3. ALL FRONT EDGES OF SHELVING BEHIND DOORS.

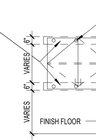
C. CONCEALED SURFACES - SURFACES ARE CONCEALED WHEN:

1. SURFACES ARE NOT VISIBLE AFTER INSTALLATION;
2. BOTTOMS OF CABINETS ARE LESS THAN 30" ABOVE FINISHED FLOOR;
3. TOPS OF CABINETS ARE OVER 78" ABOVE FINISHED FLOOR AND ARE NOT VISIBLE FROM AN UPPER FLOOR OR STAIRCASE AFTER INSTALLATION.
4. STRETCHERS, BLOCKING AND/OR COMPONENTS ARE CONCEALED BY DRAWERS.

TYPICAL BLOCKING/ANCHORING LOCATION

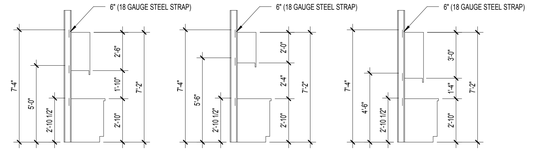
* VERIFY ALL DIMENSIONS WITH CASEWORK CONTRACTOR. BLOCKING HEIGHT MAY VARY DEPENDING ON CABINET HEIGHT, COUNTER TOP HEIGHT & FIELD CONDITIONS

BASE CABINET



UPPER CABINET

NOTES: FOR CABINETS 36" WIDE OR WIDER, PROVIDE 3 FASTENERS PER PLATE PER CABINET. FOR CABINETS LESS THAN 36" WIDE PROVIDE 2 FASTENERS PER PLATE PER CABINET.

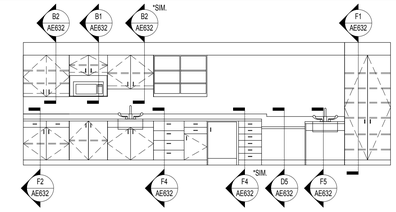


TYPICAL BLOCKING LOCATION FOR 30" UPPER CABINETS & 34" BASE CABINETS

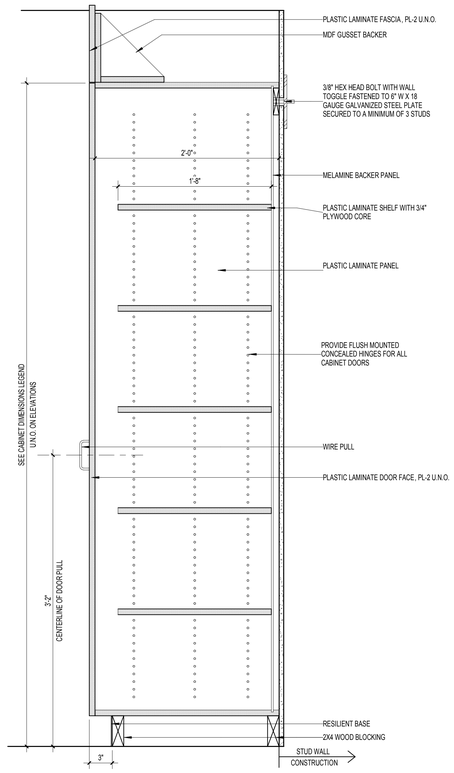
TYPICAL BLOCKING LOCATION FOR 24" UPPER CABINETS & 34" BASE CABINETS WITH SINK

TYPICAL BLOCKING LOCATION FOR 36" UPPER CABINETS & 34" BASE CABINETS

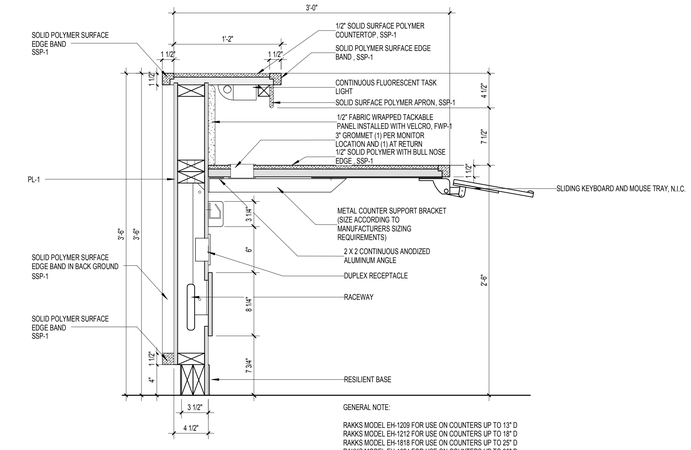
KEY ELEVATION



NOTE: THE SECTION TAG INFORMATION SHOWN ON KEY ELEVATION ABOVE ARE TYPICAL FOR ALL CASEWORK ELEVATION UNLESS NOTED OTHERWISE.



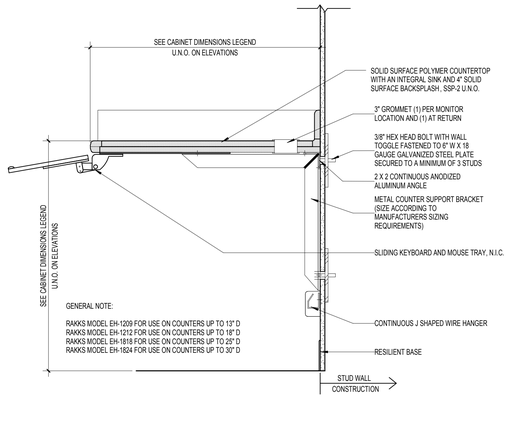
F1 SECTION @ FULL HEIGHT CABINET
1 1/2" = 1'-0"



GENERAL NOTE:

RAKKS MODEL EH-1209 FOR USE ON COUNTERS UP TO 13" D
RAKKS MODEL EH-1212 FOR USE ON COUNTERS UP TO 18" D
RAKKS MODEL EH-1818 FOR USE ON COUNTERS UP TO 25" D
RAKKS MODEL EH-1824 FOR USE ON COUNTERS UP TO 30" D

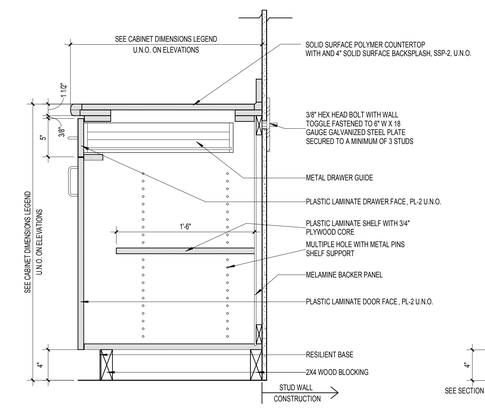
D2 SECTION @ NURSES STATION
1 1/2" = 1'-0"



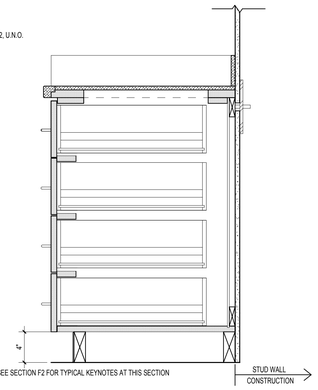
GENERAL NOTE:

RAKKS MODEL EH-1209 FOR USE ON COUNTERS UP TO 13" D
RAKKS MODEL EH-1212 FOR USE ON COUNTERS UP TO 18" D
RAKKS MODEL EH-1818 FOR USE ON COUNTERS UP TO 25" D
RAKKS MODEL EH-1824 FOR USE ON COUNTERS UP TO 30" D

D5 SECTION @ WORK COUNTER
1 1/2" = 1'-0"



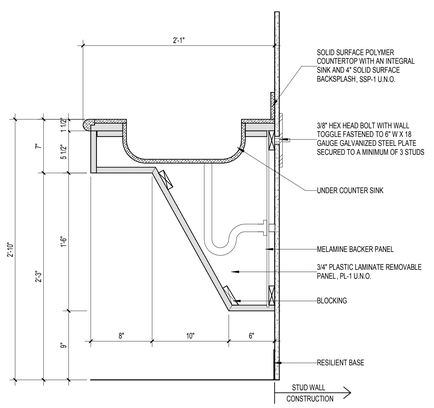
F2 SECTION @ TYPICAL BASE CABINET
1 1/2" = 1'-0"



SEE SECTION F2 FOR TYPICAL KEYNOTES AT THIS SECTION

STUD WALL CONSTRUCTION

F4 BASE CABINET W/ DRAWERS
1 1/2" = 1'-0"



F5 SECTION @ ADA BASE CABINET
1 1/2" = 1'-0"

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	CASEWORK DETAILS
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	TN
Drawn	BG
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	AE632
Dwg.	37 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

DOOR SCHEDULE

DOOR #	DOOR TYPE	DOOR SIZE WD	DOOR SIZE HGT	DOOR SIZE THK	DOOR MATL	DOOR FIN	GLAZ	FRAME TYPE	FRAME MATL	FRAME FIN	DETAIL NUMBER	HARDWARE	UL RATING	ALTERNATE NO.	Comments
000	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	E2	0010	-		DOOR TO BE 3/4" UNDERCUT
100A	BB	6' - 0"	7' - 0"	1 3/4"	SCV	WTF	FRG	4	HM	MP	F1	0008	-		
101	EE	6' - 0"	7' - 0"	1 3/4"	SCV	WTF	CTG	3	HM	MP	F6	0009	-		
102	E	3' - 6"	7' - 0"	1 3/4"	SCV	WTF	CTG	1	HM	MP	F6	0007	-		
103	E	3' - 6"	7' - 0"	1 3/4"	SCV	WTF	CTG	1	HM	MP	F6	0007	-		
104	E	3' - 6"	7' - 0"	1 3/4"	SCV	WTF	CTG	1	HM	MP	F6	0007	-		
105	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0010	-		
106A	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0004	-		DOOR TO BE 3/4" UNDERCUT
106B	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0004	-		DOOR TO BE 3/4" UNDERCUT
107	MM	6' - 2"	7' - 11"		AL	AL	CTG	5	AL	AL	C2	0011	-		
109	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
110	BB	6' - 0"	7' - 0"	1 3/4"	SCV	WTF	FRG	4	HM	MP	F1	0012	-		
111	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
112	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
113	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
114	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0022	45M		DOOR TO BE 3/4" UNDERCUT
115	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
116	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
117	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
118	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
119	BB	6' - 0"	7' - 0"	1 3/4"	SCV	WTF	CTG	3	HM	MP	F6	0013	-		
121	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	E2	0014	45M		
122	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0015	-	8	
122A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0042	-		DOOR TO BE 3/4" UNDERCUT
123	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0016	-		DOOR TO BE 3/4" UNDERCUT
124A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0017	45M		
124B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0043	45M		
125	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0043	45M		
126	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0018	-		
127	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0019	-		
128	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
129	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0020	-		
131	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0021	45M		
133A	AA	6' - 0"	7' - 0"	1 3/4"	SCV	WTF		3	HM	MP	F6	0023	-		
134	MM	5' - 0 1/32"	7' - 8"		AL	AL	CTG	5	AL	AL	C2	0024	-		KEYPAD LOCK FOR DEDUCT ALTERNATE #6
136	BB	7' - 0"	7' - 0"	1 3/4"	SCV	WTF	FRG	3	HM	MP	F6	0025	-		
142	A	3' - 0"	6' - 0"	1 3/4"	HM	MP		1	HM	MP	F6	0034	-		
201	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0026	-		
203	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0045	-		
204	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0019	-		
301	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0015	-		
302	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
303	P	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		7	HM	MP		0028	-		
304	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	304	-		
401	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
402	M	3' - 4 9/32"	7' - 8"		AL	AL	CTG	5	AL	AL	C2	0029	-		
402B	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0046	-	10	
403	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0005	-	10	DOOR TO BE 3/4" UNDERCUT
404	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0005	-		DOOR TO BE 3/4" UNDERCUT
405	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
406	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
407	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
408	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
409	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
411	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	10	
415	M	2' - 11 31/32"	7' - 7"		AL	AL	CTG	5	AL	AL	C2	0030	-		
416	F	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0031	-	10	DUTCH DOOR
416A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0032	45M	10	
416B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0022	45M		
416C	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0022	45M	10	
501	AA	7' - 0"	7' - 0"	1 3/4"	SCV	MP		3	HM	MP	F6	0044	-		
503A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-	7	
503B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0047	-		
600A	AA	7' - 0"	7' - 0"	1 3/4"	SCV	MP		3	HM	MP	F6	0033	-		
600B	M	7' - 0"	7' - 0"	1 3/4"	AL	AL	TL	5	AL	AL	C2 - SIM	0025	-		
600C	M	3' - 0"	7' - 0"				MTL								
601A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0004	-		DOOR TO BE 3/4" UNDERCUT
601C	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0004	-		DOOR TO BE 3/4" UNDERCUT
602	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0005	-		
603	M	3' - 0"	7' - 0"	1 3/4"	AL	AL	TL	5	AL	AL	C2 - SIM	0035	45M		
604	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0036	-		
604A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		DOOR TO BE 3/4" UNDERCUT
604B	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0037	-		
604C	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0007	-		
605A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0006	-		
605B	A	3' - 0"	7' - 0"	1 3/4"	ALV	WTF		5	IAL[1]	IAL[1]	F6	0004	-		DOOR TO BE 3/4" UNDERCUT
606A	M	2' - 10"	7' - 0"		AL	AL	MTL	5	AL	AL	C2	0005	-		DOOR TO BE 3/4" UNDERCUT
606B	M	3' - 0 3/32"	7' - 0"				MTL				C2	0048	-		FULL METAL STOREFRONT DOOR TO MATCH POOL ENCLOSURE
701	AA	6' - 0"	7' - 0"	1 3/4"	SCV	WTF		3	HM	MP	F6	0049	-		FULL METAL STOREFRONT DOOR TO MATCH POOL ENCLOSURE
701A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	E2	0038	-		
701B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0017	45M		
702	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0018	-		
703	C	3' - 0"	7' - 0"	1 3/4"	SCV	WTF	CTG	1	HM	MP	F6	0039	45M		
703A	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0019	-		
703B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0043	45M		
801	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0043	45M		DOOR TO BE 3/4" UNDERCUT
802A	A	3' - 6"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0040	-		
802B	A	3' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0005	-		
804	A	4' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0037	-		
805	MM	3' - 0"	7' - 0"	1 3/4"	SCV	WTF	CTG	5	HM	MP	F6	0022	45M		
E107		6' - 0"	7' - 0"		AL	AL	CTG	3	AL	AL	C2 - SIM	0019	-		
E119	AA	5' - 0"	7' - 0"	1 3/4"	HM	MP		5	HM	IAL[1]	E2	0002.1	-		KEYPAD LOCK
E134	MM	5' - 0"	7' - 8"		AL	AL	CTG	1	AL		C2	0001	-		KEYPAD LOCK
E136	A	3' - 4"	7' - 0"	1 3/4"	HM	MP			HM	MP	C2	0002	-	8	KEYPAD LOCK
T1	AA	5' - 0"	7' - 0"	1 3/4"	SCV	WTF		1	HM	MP	F6	0003	-		
												0041	-		REFER TO VIEW F/AE002 FOR LOCATION

WINDOW AND BORROWED LIGHT SCHEDULE

BORROW LIGHT #	TYPE/ ELEVATION	FRAME SIZE HEIGHT	FRAME SIZE WIDTH	UL RATING	FRAME MATERIAL	FRAME FINISH	DETAILS HEAD	DETAILS JAMB	DETAILS SILL	GLAZING	ALTERNATE #	REMARKS
302	21	4' - 0"	4' - 0"		HM	MP	E1/AE623	C1/AE623	B1/AE623	CTG		
503	21	4' - 0"	2' - 0"		HM	MP	E1/AE623	C1/AE623	B1/AE623	CTG	7	
604	21	4' - 0"	3' - 0"		HM	MP	E1/AE623	C1/AE623	B1/AE623	CTG		SHADES ON POOL DECK SIDE
701A	E4/AE400	3' - 0"	3' - 0"		AL	AL	-	D1-D2/ AE601	-	ILSG		SKYLIGHT
701B	E4/AE400	3' - 0"	3' - 0"		AL	AL	-	D1-D2/ AE601	-	ILSG		SKYLIGHT
701C	E4/AE400	3' - 0"	3' - 0"		AL	AL	-	D1-D2/ AE601	-	ILSG		SKYLIGHT

WINDOW AND BORROWED LIGHT SCHEDULE (CONT.)

BORROW LIGHT #	TYPE/ ELEVATION	FRAME SIZE HEIGHT	FRAME SIZE WIDTH	UL RATING	FRAME MATERIAL	FRAME FINISH	DETAILS HEAD	DETAILS JAMB	DETAILS SILL	GLAZING	ALTERNATE #	REMARKS
105A	25	3'-3 1/2"	5'-5 1/2"	-	-	-	E4/AE623	E4/AE623	E4/AE623	CTG		
105B	25	3'-3 1/2"	5'-3"	-	-	-	E4/AE623	E4/AE623	E4/AE623	CTG		
105C	25	3'-3 1/2"	5'-5 1/2"	-	-	-	E4/AE623	E4/AE623	E4/AE623	CTG		
107A	E5/AE400	9'-0"	7'-3 1/2"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
107B	E4/AE400	9'-0"	6'-3 1/4"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
107C	E4/AE400	9'-0"	7'-0"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
122A	B3/AE201	8'-6"	9'-7"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE
122B	B3/AE201	8'-6"	4'-3 5/8"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE
122C	B3/AE201	8'-6"	13'-11"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE
122D	B3/AE201	8'-6"	4'-10 5/8"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE
122E	B3/AE201-SIM	8'-6"	1'-5 1/2"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE
134	B3/AE201 - SIM	8'-6"	1'-4 1/2", 1'-5"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		
204	20	7'-2"	2'-5 1/4"	-	HM	MP	E1/AE623	C1/AE623	B1/AE623	CTG		
402A	F4/AE404	8'-0"	8'-11"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
402B	F3/AE404	8'-0"	12'-5"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
415	F3/AE404	8'-0"	3'-3", 1'-7 1/4"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	CTG		PAINT WHITE TO MATCH STRUCTURE
E134	B3/AE201	8'-6"	1'-4 1/2", 1'-5"	-	AL	AL	E2/AE623	E2/AE623	E2/AE623	IG	8	PAINT WHITE TO MATCH STRUCTURE

LOUVER SCHEDULE

LOUVER NUMBER	FRAME TYPE	FRAME HEIGHT	FRAME WIDTH	FRAME MATERIAL	FRAME FINISH	DETAIL	REMARKS
L1	20	2' - 9 1/2"	6' - 2 3/16"	AL	AL	PER MANUFACTUERER	PAINT WHITE TO MATCH STRUCTURE
L2	20	3' - 4 1/4"	3' - 4 1/16"	AL	AL	PER MANUFACTUERER	PAINT WHITE TO MATCH STRUCTURE
L3	20	3' - 4 1/4"	3' - 4"	AL	AL	PER MANUFACTUERER	PAINT WHITE TO MATCH STRUCTURE
L4	20	2' - 11 3/4"	5' - 2"	AL	AL	PER MANUFACTUERER	PAINT WHITE TO MATCH STRUCTURE
L5	20	2' - 9 1/2"	5' - 2"	AL	AL	PER MANUFACTUERER	PAINT WHITE TO MATCH STRUCTURE

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions | Date

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PROJECT MANAGER: Bray Mooney Consulting

Project Number: 3627

Scale:

Drawing Title: SCHEDULES - DOOR/BORROWED LIGHT

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13 | Checked: TN | Drawn: BG

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: AE701

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Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

TOILET ACCESSORY SCHEDULE

ACCESSORY	ROOM		ACCESSORY			MOUNTING HEIGHT		RESPONSIBILITY			
T.A. #	NUMBER	NAME	DESCRIPTION	MANUFACTURER	QUANTITY	HEIGHT	REMARKS	PURCHASED BY	PLACED BY	INSTALLED BY	COMMENTS
~~TA-3B-2~~			~~Robe Hook Double~~	~~TO BE SELECTED BY VA~~	~~7~~	~~0' - 0"~~	~~To Top of Unit (Typical Height)~~	~~Contractor~~	~~Contractor~~	~~Contractor~~	
~~TA-3B-2~~			~~Robe Hook Double~~	~~TO BE SELECTED BY VA~~	~~1~~	~~0' - 0"~~	~~To Top of Unit (Typical Height)~~	~~Contractor~~	~~Contractor~~	~~Contractor~~	
1-000											
HSPK											
TA-11-2	1-000	HSPK	Utility Shelf - 24"	Bobrick	2	6' - 0"	To Top of Unit	Contractor	Contractor	Contractor	
1-102											
OFFICE											
TA-9B-1	1-102	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-103											
ADMIN. OFFICE											
TA-9B-1	1-103	ADMIN. OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-104											
OFFICE											
TA-9B-1	1-104	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-106A											
MEN'S TOILET											
TA-1A-2	1-106A	MEN'S TOILET	Glass Mirror	TO BE SELECTED BY VA	2	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-106A	MEN'S TOILET	Soap Dispenser	PROVON, OR APPROVED EQUAL	2	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-106A	MEN'S TOILET	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-106A	MEN'S TOILET	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	3	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-106A	MEN'S TOILET	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-106A	MEN'S TOILET	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-106A	MEN'S TOILET	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
1-106B											
WOMEN'S TOILET											
TA-1A-2	1-106B	WOMEN'S TOILET	Glass Mirror	TO BE SELECTED BY VA	3	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-106B	WOMEN'S TOILET	Soap Dispenser	PROVON, OR APPROVED EQUAL	2	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-106B	WOMEN'S TOILET	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	2	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-106B	WOMEN'S TOILET	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	4	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-106B	WOMEN'S TOILET	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-106B	WOMEN'S TOILET	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-106B	WOMEN'S TOILET	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
TA-7A	1-106B	WOMEN'S TOILET	Sanitary Napkin Vendor - Recessed	TO BE SELECTED BY VA	1						SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
TA-14A	1-106B	WOMEN'S TOILET	Baby Changing Station - Vertical	TO BE SELECTED BY VA	1	5' - 2"	To Top of Unit	Contractor	Contractor	Contractor	
1-109											
OFFICE											
TA-9B-1	1-109	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-111											
OFFICE											
TA-9B-1	1-111	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-112											
OFFICE											
TA-9B-1	1-112	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-113											
EXAM											
TA-2C	1-113	EXAM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-113	EXAM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-113	EXAM	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-115											
EXAM											
TA-2C	1-115	EXAM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-115	EXAM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-115	EXAM	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-116											
EXAM											
TA-2C	1-116	EXAM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-116	EXAM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-116	EXAM	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-117											
EXAM											
TA-2C	1-117	EXAM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-117	EXAM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-117	EXAM	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-118											
OFFICE											
TA-9B-1	1-118	OFFICE	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-119											
ACTIVITY ROOM											
~~TA-1A-5~~	~~1-119~~	~~ACTIVITY ROOM~~	~~MIRROR, WALL MOUNTED~~	~~TO BE SELECTED BY VA~~	~~3~~	~~3' - 4"~~	~~To Bottom of Reflective Surface~~	~~CONTRACTOR~~		~~CONTRACTOR~~	
1-122A											
STAFF TLT.											
TA-1A-2	1-122A	STAFF TLT.	Glass Mirror	TO BE SELECTED BY VA	1	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-122A	STAFF TLT.	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-122A	STAFF TLT.	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-122A	STAFF TLT.	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-122A	STAFF TLT.	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-122A	STAFF TLT.	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-122A	STAFF TLT.	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
1-123											
HSKP.											
TA-11-2	1-123	HSKP.	Utility Shelf - 24"	Bobrick	1	6' - 0"	To Top of Unit	Contractor	Contractor	Contractor	
1-202											
PHYSICAL THERAPY CLINIC											
TA-2C	1-202	PHYSICAL THERAPY CLINIC	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-202	PHYSICAL THERAPY CLINIC	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
1-203											
PRIVATE TREATMENT ROOM											
TA-2C	1-203	PRIVATE TREATMENT ROOM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-203	PRIVATE TREATMENT ROOM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-8	1-203	PRIVATE TREATMENT ROOM	Lavatory Protective Enclosures	Truebro IPS Corporation	1	0"	To Bottom of Unit	Contractor	Contractor	Contractor	SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
1-205											
SHARED ACTIVITY/ EQUIPMENT											
~~TA-1A-5~~	~~1-205~~	~~SHARED ACTIVITY/ EQUIPMENT~~	~~MIRROR, WALL MOUNTED~~	~~TO BE SELECTED BY VA~~	~~7~~	~~3' - 4"~~	~~To Bottom of Reflective Surface~~	~~CONTRACTOR~~		~~CONTRACTOR~~	
1-304											
PRIV. TREATMENT RM											
TA-2C	1-304	PRIV. TREATMENT RM	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-304	PRIV. TREATMENT RM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-8	1-304	PRIV. TREATMENT RM	Lavatory Protective Enclosures	Truebro IPS Corporation	1	0"	To Bottom of Unit	Contractor	Contractor	Contractor	SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
TA-9B-1	1-304	PRIV. TREATMENT RM	Robe Hook Double	TO BE SELECTED BY VA	1	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-403											
PT. TLT.											
TA-1A-2	1-403	PT. TLT.	Glass Mirror	TO BE SELECTED BY VA	1	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-403	PT. TLT.	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-403	PT. TLT.	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-403	PT. TLT.	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-403	PT. TLT.	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-403	PT. TLT.	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-403	PT. TLT.	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
1-404											
PT. TLT.											
TA-1A-2	1-404	PT. TLT.	Glass Mirror	TO BE SELECTED BY VA	1	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-404	PT. TLT.	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-404	PT. TLT.	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-404	PT. TLT.	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-404	PT. TLT.	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-404	PT. TLT.	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-404	PT. TLT.	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
1-406											
TREATMENT											
TA-2C	1-406	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-406	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-406	TREATMENT	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-407											

TOILET ACCESSORY SCHEDULE

ACCESSORY	ROOM		ACCESSORY			MOUNTING HEIGHT		RESPONSIBILITY			
T.A. #	NUMBER	NAME	DESCRIPTION	MANUFACTURER	QUANTITY	HEIGHT	REMARKS	PURCHASED BY	PLACED BY	INSTALLED BY	COMMENTS
TREATMENT											
TA-2C	1-407	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-407	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-407	TREATMENT	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-408											
TREATMENT											
TA-2C	1-408	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-408	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-408	TREATMENT	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-409											
TREATMENT											
TA-2C	1-409	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-409	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-409	TREATMENT	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-411											
TREATMENT											
TA-2C	1-411	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-411	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-411	TREATMENT	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-416											
TECHNICIAN'S WORKROOM											
TA-2C	1-416	TECHNICIAN'S WORKROOM	Soap Dispenser	PROVON, OR APPROVED EQUAL	2	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-416	TECHNICIAN'S WORKROOM	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	2	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-9B-1	1-416	TECHNICIAN'S WORKROOM	Robe Hook Double	TO BE SELECTED BY VA	2	3' - 4"	To Top of Unit (ADA Height)	Contractor	Contractor	Contractor	
1-501											
K.T.C. WEIGHT CONDITIONING											
~~TA-1A-5~~	~~1-501~~	~~K.T.C. WEIGHT CONDITIONING~~	~~MIRROR, WALL MOUNTED~~	~~TO BE SELECTED BY VA~~	~~12~~	~~3' - 4"~~	~~To Bottom of Reflective Surface~~	~~CONTRACTOR~~		~~CONTRACTOR~~	
1-502											
TREATMENT											
TA-2C	1-502	TREATMENT	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-502	TREATMENT	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-8	1-502	TREATMENT	Lavatory Protective Enclosures	Truebro IPS Corporation	1	0"	To Bottom of Unit	Contractor	Contractor	Contractor	SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
1-601											
WOMEN'S SHOWER/ LOCKER											
~~TA-1A-1~~	~~1-601~~	~~WOMEN'S SHOWER/ LOCKER~~	~~MIRROR, WALL MOUNTED~~	~~TO BE SELECTED BY VA~~	~~1~~	~~3' - 4"~~	~~To Bottom of Reflective Surface~~	~~CONTRACTOR~~		~~CONTRACTOR~~	
TA-1A-2	1-601	WOMEN'S SHOWER/ LOCKER	Glass Mirror	TO BE SELECTED BY VA	1	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-601	WOMEN'S SHOWER/ LOCKER	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-2D	1-601	WOMEN'S SHOWER/ LOCKER	Ceramic Soap Dish	TO BE SELECTED BY VA	1	3' - 6"	To Top of Dish	Contractor	Contractor	Contractor	
TA-3B	1-601	WOMEN'S SHOWER/ LOCKER	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-601	WOMEN'S SHOWER/ LOCKER	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-5	1-601	WOMEN'S SHOWER/ LOCKER	Grab Bar 36"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-601	WOMEN'S SHOWER/ LOCKER	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-601	WOMEN'S SHOWER/ LOCKER	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
TA-8	1-601	WOMEN'S SHOWER/ LOCKER	Lavatory Protective Enclosures	Truebro IPS Corporation	1	0"	To Bottom of Unit	Contractor	Contractor	Contractor	SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
TA-12B-2	1-601	WOMEN'S SHOWER/ LOCKER	Shower Rod - Extra Heavy Duty	Bobrick	2	6' - 0"	To CL of Tubing	Contractor	Contractor	Contractor	
1-604B											
TLT.											
TA-1A-2	1-604B	TLT.	Glass Mirror	TO BE SELECTED BY VA	1	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
TA-2C	1-604B	TLT.	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-604B	TLT.	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-604B	TLT.	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-8	1-604B	TLT.	Lavatory Protective Enclosures	Truebro IPS Corporation	1	0"	To Bottom of Unit	Contractor	Contractor	Contractor	SEE TOILET ACCESSORY LEGEND AE408 FOR MOUNTING HEIGHT
1-605											
MEN'S SHOWER/ LOCKER											
TA-1A-2	1-605	MEN'S SHOWER/ LOCKER	Glass Mirror	TO BE SELECTED BY VA	2	3' - 4"	To Bottom of Reflective Surface	Contractor	Contractor	Contractor	
~~TA-1A-5~~	~~1-605~~	~~MEN'S SHOWER/ LOCKER~~	~~MIRROR, WALL MOUNTED~~	~~TO BE SELECTED BY VA~~	~~1~~	~~3' - 4"~~	~~To Bottom of Reflective Surface~~	~~CONTRACTOR~~		~~CONTRACTOR~~	
TA-2C	1-605	MEN'S SHOWER/ LOCKER	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-2D	1-605	MEN'S SHOWER/ LOCKER	Ceramic Soap Dish	TO BE SELECTED BY VA	5	3' - 6"	To Top of Dish	Contractor	Contractor	Contractor	
TA-3B	1-605	MEN'S SHOWER/ LOCKER	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
TA-5B-2	1-605	MEN'S SHOWER/ LOCKER	Toilet Tissue Dispenser - Double Roll	GEORGIA PACIFIC, OR APPROVED EQUAL	1	1' - 6"	To Top of Unit	Contractor	Contractor	Contractor	
TA-6A-3	1-605	MEN'S SHOWER/ LOCKER	Grab Bar 24"	Bobrick	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-5	1-605	MEN'S SHOWER/ LOCKER	Grab Bar 36"	TO BE SELECTED BY VA	2	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6A-6	1-605	MEN'S SHOWER/ LOCKER	Grab Bar 42"	TO BE SELECTED BY VA	1	2' - 10"	To Top of Tubing	Contractor	Contractor	Contractor	
TA-6B-2	1-605	MEN'S SHOWER/ LOCKER	Grab Bar 24" - Vertical	TO BE SELECTED BY VA	1	3' - 3"	To Bottom of Tubing	Contractor	Contractor	Contractor	
TA-7A-1	1-605	MEN'S SHOWER/ LOCKER	Folding Shower Seat with Slat	TO BE SELECTED BY VA	1	1' - 6"	Top of Unit	Contractor	Contractor	Contractor	
TA-12B-1	1-605	MEN'S SHOWER/ LOCKER	Shower Rod - Extra Heavy Duty	Bobrick	4	6' - 0"	To CL of Tubing	Contractor	Contractor	Contractor	
TA-12B-3	1-605	MEN'S SHOWER/ LOCKER	Shower Rod - Extra Heavy Duty	Bobrick	1	6' - 0"	To CL of Tubing	Contractor	Contractor	Contractor	
1-701											
M.H.O.T. CLINIC											
TA-2C	1-701	M.H.O.T. CLINIC	Soap Dispenser	PROVON, OR APPROVED EQUAL	1	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-701	M.H.O.T. CLINIC	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	1	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	
1-802A											
BATHROOM											
TA-6A-4A	1-802A	BATHROOM	Grab Bar 30" - Tub Lower Grab Bar	TO BE SELECTED BY VA	2	2' - 2"	To Top of Tubing. Bottom of Tubing to be 9" above Bathtub Rim	Contractor	Contractor	Contractor	
TA-6A-7A	1-802A	BATHROOM	Grab Bar 48" - Tub Lower Grab Bar	TO BE SELECTED BY VA	1	2' - 2"	To Top of Tubing. Bottom of Tubing to be 9" above Bathtub Rim	Contractor	Contractor	Contractor	
1-803											
ADL KITCHEN & LAUNDRY											
TA-2C	1-803	ADL KITCHEN & LAUNDRY	Soap Dispenser	PROVON, OR APPROVED EQUAL	2	4' - 2 7/8"	To Top of Unit	OWNER	Contractor	Contractor	
TA-3B	1-803	ADL KITCHEN & LAUNDRY	Paper Towel Dispenser	GEORGIA PACIFIC, OR APPROVED EQUAL	2	3' - 11"	To Top of Unit	Contractor	Contractor	Contractor	

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

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COATESVILLE, PA, 19320
Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	

Drawing Title: SCHEDULES - TOILET ACCESSORY

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03-29-13 | Checked: Checker | Drawn: Author

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: AE702

Dwg. 39 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

FINISH SCHEDULE

FINISH CONTRACTOR MUST REVIEW ALL SPECIFICATIONS AND DRAWINGS PRIOR TO ORDERING MATERIALS AND COMMENCING FABRICATION AND INSTALLATION. MANY ITEMS ARE LONG-LEAD AND SHOULD BE ORDERED PROMPTLY. LOCATION DESCRIPTIONS ARE FOR REFERENCE ONLY AND ARE NOT INDICATIVE OF EVERY OCCURRENCE OF A PARTICULAR FINISH. REFER TO FINISH PLAN FOR EXACT LOCATIONS.

CEILING

AS MANUFACTURED BY ARMSTRONG WORLD INDUSTRIES, INC.
SALES REPRESENTATIVE: NANCY MEDL
PHONE: 215-491-2179

WHEREVER POSSIBLE, GRIDS TO BE CENTERED IN THE ROOM ON THE CENTER LINE OF THE CEILING TILE. INSTALL NO TILE SMALLER THAN 6" WIDE. ALL CEILING GRIDS TO BE ARMSTRONG WORLD INDUSTRIES.
COLOR: WHITE, U.N.O.

C-1
STYLE: HEALTH ZONE ULTIMA #1937 OR APPROVED EQUAL
EDGE PROFILE: BEVELED TEGULAR
DIMENSIONS: 2' x 2' x 3/4"
GRID: PRELUDE
COLOR: WHITE
FOR USE AS THE GENERAL CEILING, U.N.O.

C-2
STYLE: OPTIMA OPEN PLAN #3354 OR APPROVED EQUAL
EDGE PROFILE: BEVELED TEGULAR
DIMENSIONS: 2' x 2' x 1"
GRID: 15/16" SQUARE TEGULAR
COLOR: WHITE

C-3
GYPSUM WALLBOARD SOFFIT
COLOR: TBD

NOTE: WHERE THE FASCIA OF SOFFITS ALIGNS WITH THE ADJACENT PARTITION, PROVIDE 1/4" FRY REGLET REVEAL TO TERMINATE A MATERIAL OR COLOR. ALL SOFFIT FASCIAS ARE TO RECEIVE PAINT, NOT VINYL WALLCOVERING. PLEASE REFER TO THE REFLECTED CEILING PLAN FOR LOCATIONS OF CEILING TILES.

C-4
STYLE: HEALTH ZONE OPTIMA #3114 OR APPROVED EQUAL
EDGE PROFILE: SQUARE TEGULAR
DIMENSIONS: 2'x 2' x 1"
GRID: PRELUDE (MOISTURE AND CHEMICAL RESISTANT)
COLOR: WHITE
FOR USE IN POOL AND SHOWER AREAS

C-5
STYLE: METALWORKS LINEAR - INTERIOR #54926XWN OR APPROVED EQUAL
COLOR: EFFECTS WALNUT FXWN
PERFORATED OPTION: MICROPERFORATED
PANEL WIDTH: 4"
EDGE DETAIL: SQUARE WITH EXTENDED FLANGE
DIMENSIONS: 96" X 4" X 5/8"
SUSPENSION SYSTEM: #5497 STANDARD CARRIER
ACCESSORIES: ASSUME ALL ACCESSORIES - PANEL SPLICES, PANEL END CAPS, TRIM MOLDING AND PRESSURE SPRINGS.

PAINT

ALL PAINT AS MANUFACTURED BY : SHERWIN WILLIAMS

NOTE: ALL WALLS TO BE EGGSHELL FINISH, U.N.O. TOILET ROOMS ARE TO BE SEMI-GLOSS WATER BASE EPOXY. ALL TRIM AND FRAMES TO BE SEMI-GLOSS FINISH. METAL PANELS TO BE PAINTED TO MATCH ADJACENT WALL. ALL GWB CEILINGS AND SOFFITS TO BE FLAT FINISH, U.N.O. SOFFITS ARE NEVER TO RECEIVE VINYL WALLCOVERING AND FACE AND UNDERSIDE ARE TO BE PAINTED TO MATCH. EXPOSED CEILINGS TO RECIEVE TWO PART EPOXY COATING

PT-1
COLOR: CANVAS TAN SW7531
FOR USE AS GENERAL PAINT, U.N.O.

PT-2
COLOR: OUTERBANKS SW7534
FOR USE AS DOOR FRAME AND TRIM PAINT, U.N.O.

PT-3
COLOR: MANOR HOUSE SW7505
FOR USE AS ACCENT PAINT

PT-4
COLOR: ARTISAN TAN SW7540
FOR USE AS ACCENT PAINT

PT-5
COLOR: HOMESTEAD BROWN SW7515
FOR USE AS ACCENT PAINT

PT-6
COLOR: HOMBERG GRAY SW7622
FOR USE AS ACCENT PAINT

PT-7
COLOR: HARDWARE SW6172
FOR USE AS ACCENT PAINT

PT-8
COLOR: WHITE
FOR USE AS THE COLOR UNDER THE ENTRANCE CANOPY
FOR USE ON THE STEEL WITHIN THE POOL

CERAMIC WALL TILE

AS MANUFACTURED BY DALTILE
SALES REPRESENTATIVE: SUSAN METKA
PHONE:484-576-9387

CWT-1
STYLE: SPARK COLORBODY PORCELAIN OR APPROVED EQUAL
COLOR: TBD
DIMENSIONS: 12" x 24" x 7/16"
GROUT COLOR: TBD
GROUT WIDTH: 1/8"

CWTB-1
STYLE: COVE BASE S-36C9TB OR APPROVED EQUAL
COLOR: TO MATCH CWT-1
DIMENSIONS: 6" X 12"
GROUT COLOR: TO MATCH CWT-1
GROUT WIDTH: TO MATCH CWT-1

CWT-2
STYLE: SPARK COLORBODY PORCELAIN OR APPROVED EQUAL
COLOR: TBD
DIMENSIONS: 1"X 2" (SHEET 11-5/8" X 11-5/8")
GROUT COLOR: TBD
GROUT WIDTH: 1/8"

RUBBER BASE

AS MANUFACTURED BY MANNINGTON
SALES REPRESENTATIVE: JESSICA D'ANGELO
PHONE: 610-675-6599

RB-1
STYLE: SYNC RUBBER WALL BASE (TYPE TP) OR APPROVED EQUAL
COLOR: 918 FLAX
DIMENSIONS: 4"H x 120' COIL
6"H IN SOILED UTILITY ROOMS AND JANITOR'S CLOSETS
SEAL JOINTS BETWEEN TOP OF WALL BASE AND IRREGULAR WALL SURFACES

WALL PROTECTION

AS MANUFACTURED BY C/S ACROVYN
SALES REPRESENTATIVE: BRAD GILDIN
PHONE: 610-825-0320

PWP-1
PLASTIC WALL PROTECTION OR APPROVED EQUAL
STYLE: 4000 .060N RIGID SHEET
DIMENSIONS: 4' x 10' SHEET
SURFACE: SHADOWGRAIN
COLOR: BEIGE # 103
JOINTS/TRANSITIONS: COLOR MATCHING CAULK (NO PLASTIC TRIM PIECES)

CG-1
STYLE: CO-8 CORNER GUARD OR APPROVED EQUAL
SCO-8 FOR END WALL CONDITIONS
CO-8M FOR ODD ANGLES
ANGLE: 90 DEGREES
DIMENSIONS: 3-1/2" LEGS x FULL HEIGHT
304 STAINLESS ALLOY WITH #4 SATIN FINISH.
MOUNTED WITH CONSTRUCTION ADHESIVE AND STAINLESS STEEL SCREWS

BG-1
STYLE: FR-22SN BUMPER GUARD OR APPROVED EQUAL
DIMENSIONS: 2-1/4"H x 3/4"D
ACROVYN 4000 COVER
TEXTURE: SHADOWGRAIN
COLOR: BEIGE # 103
RETAINER: ALUMINUM
COLOR MATCHING END CAPS

HR-1
STYLE: P-RWS PLATFORM HANDRAIL OR APPROVED EQUAL
DIMENSIONS: 6-3/8"H x 3"D
TOP RAIL WOOD SPECIES: MAPLE
TOP RAIL WOOD FINISH: 448 WALNUT
BOTTOM RAIL COLOR: #4 POLISH (3 SIDES)
BRACKET COLOR: TBD
MATCHING END CAPS RETURNING TO THE WALL

PLASTIC LAMINATE

AS MANUFACTURED BY FORMICA
SALES REPRESENTATIVE: SAMANTHA SMITH
PHONE: 1-800-367-6422

PL-1
STYLE: 9012-LX EBONY OR APPROVED EQUAL
FINISH: LUXE
FOR USE AS VERTICAL LAMINATE, U.N.O.

PL-2
STYLE: 5883-58 PECAN WOODLINE OR APPROVED EQUAL
FOR USE AS VERTICAL LAMINATE, U.N.O.

SOLID SURFACE POLYMER

AS MANUFACTURED BY MEGANITE
DISTRIBUTOR: FESSENDEN HALL INC
SALES REPRESENTATIVE: ROSIE LEISTER
PHONE: 609-685-1683

SSP-1
COLOR: 419 SURFIN' SAFARI OR APPROVED EQUAL
FOR USE AS GENERAL COUNTER TOP, U.N.O.

SSP-2
COLOR: 501 SAN RAFAEL STONE OR APPROVED EQUAL
FOR USE IN TOILET ROOMS AND LABORATORY

SSP-3
SOLID SURFACE POLYMER SINK
CORIAN 180 SIDE OVERFLOW
COLOR: TBD
FOR USE AS TYPICAL TOILET ROOM SINK, U.N.O.

CARPET

AS MANUFACTURED BY SHAW CONTRACT
SALES REPRESENTATIVE: VICKY MCCONAGHY
PHONE: 610-299-0852

CPT-1
STYLE: UNEARTHED 18x36 COLLECTION - 5T016 JASPER OR APPROVED EQUAL
COLOR: 14740 ZIRCON
TYPE: TILE
DIMENSIONS: 18" x 36"
INSTALLATION: HERRINGBONE, U.N.O.
FOR USE IN LOBBY AND WAITING AREAS

CPT-2
STYLE: UNEARTHED 18x36 COLLECTION - 5T015 AGATE OR APPROVED EQUAL
COLOR: 14740 ZIRCON
TYPE: TILE
DIMENSIONS: 18" x 36"
INSTALLATION: HERRINGBONE, U.N.O.
FOR USE IN CORRIDORS AND OFFICES

VINYL COMPOSITION TILE

AS MANUFACTURED BY MANNINGTON
SALES REPRESENTATIVE: JESSICA D'ANGELO
PHONE: 610-675-6599

VCT-1
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55137 SANDRIFT
DIMENSIONS: 12" x 12" x .125"

VCT-2
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55129 PUTTY
DIMENSIONS: 12" x 12" x .125"

VCT-3
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55123 WHEAT
DIMENSIONS: 12" x 12" x .125"

VCT-4
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55519 BED ROCK
DIMENSIONS: 12" x 12" x .125"

VCT-5
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55505 CALICO
DIMENSIONS: 12" x 12" x .125"

VCT-6
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55255 FROSTED JADE
DIMENSIONS: 12" x 12" x .125"

VCT-7
STYLE: PROGRESSIONS OR APPROVED EQUAL
COLOR: 55509 DARK BARK
DIMENSIONS: 12" x 12" x .125"

SOLID RUBBER TILE

AS MANUFACTURED BY MANNINGTON COMMERCIAL
SALES REPRESENTATIVE: JESSICA D'ANGELO
PHONE: 610-675-6599

SRT-1
STYLE: COLORSPEC - SCULPTURED
COLOR: SAND DOLLAR
DIMENSIONS: 18 1/8" X 18 1/8" X 1/8"

SRT-2
STYLE: COLORSPEC - SCULPTURED
COLOR: 860 STRAW
DIMENSIONS: 18 1/8" X 18 1/8" X 1/8"

SRT-3
STYLE: COLORSPEC - SCULPTURED
COLOR: 862 CANYON
DIMENSIONS: 18 1/8" X 18 1/8" X 1/8"

SRT-4
STYLE: COLORSPEC - SCULPTURED
COLOR: SHADOWN GRAY
DIMENSIONS: 18 1/8" X 18 1/8" X 1/8"

RUBBER STAIR TREAD

AS MANUFACTURED BY MANNINGTON COMMERCIAL
SALES REPRESENTATIVE: JESSICA D'ANGELO
PHONE: 610-675-6599

RST-1
STYLE: COLORSPEC VISUAL IMPAIRED STAIR TREAD
2" ABRASIVE STRIP IN CONTRASTING COLOR
TREAD COLOR: TBD
ABRASIVE STRIP COLOR: TBD
DIMENSIONS: 61 X 18"THICKNESS
NOSE: SQUARE

SHEET VINYL

AS MANUFACTURED BY MANNINGTON
SALES REPRESENTATIVE: JESSICA D'ANGELO
PHONE: 610-675-6599

SV-1
STYLE: BIOSPEC MD OR APPROVED EQUAL
COLOR: SANDDRIFT 15203
DIMENSIONS: 6' ROLL GOODS x 0.080" THICKNESS
HEAT WELD: COLOR MATCHING

SVB-1
FLASH COVE WALL BASE OR APPROVED EQUAL
STYLE: TO MATCH SV-1
COLOR: TO MATCH SV-1
DIMENSIONS: 6" H
ACCESSORIES: #340 ROUND CAP - 1/8" AND 1-1/8" RADIUS PLASTIC COVE FILLET STRIP

CERAMIC TILE

AS MANUFACTURED BY GST
SALES REPRESENTATIVE: JAIME BLOCK
PHONE: 215-316-1731

CT-1
STYLE: SPARK COLORBODY PORCELAIN OR APPROVED EQUAL
COLOR:TOASTED LUSTER SK52
DIMENSIONS: 12" x 12"
GROUT COLOR: TBD
GROUT WIDTH: TBD

RESINOUS FLOORING

AS MANUFACTURED BY STONHARD, INC
SALES REPRESENTATIVE: BOB STEIN
PHONE: 610-416-0171

RS-1
STYLE: STONHARD STONSHIELD URT
COLOR: ACORN
TEXTURE: MEDIUM
GAUGE: 1/8"
WEARING SURFACE: CLEAR UV RESISTANT, ALIPHATIC POLYASPARTIC URETHANE SEALER

RSB-1
STYLE: TO MATCH RS-1
COLOR: TO MATCH RS-1
DIMENSIONS: 6"H INTEGRAL BASE

RS-2
STYLE: STONHARD STONSHIELD URT
COLOR: DRIFTWOOD
PATTERN: MEDIUM
GAUGE: 1/8"
WEARING SURFACE: CLEAR UV RESISTANT, ALIPHATIC POLYASPARTIC URETHANE SEALER

RSB-2
STYLE: TO MATCH RS-2
COLOR: TO MATCH RS-2
DIMENSIONS: 6"H INTEGRAL BASE

ENTRANCE MAT

AS MANUFACTURED BY THE MOHAWK GROUP - LEES
SALES REPRESENTATIVE: MICHELLE RUBANDO
PHONE: 215-600-6993

EM-1
COLLECTION: TUFF STUFF OR APPROVED EQUAL
STYLE: STEP IN STYLE MODULAR GT066
COLOR: BLARNEY STONE 00518
DIMENSIONS: 24" x 24"
INSTALLATION: BRICK

FLOORING ACCESSORIES

ACCESSORY PIECES: SCHLUTER TRANSITION STRIPS
CARPET TO RESILIENT OR SHEET VINYL: SCHLUTER-SCHIENE-AE100
CARPET TO LVT: SCHLUTER-SCHIENE-AE100
CARPET TO CERAMIC TILE: SCHLUTER-SCHIENE-AE100
CARPET TO EXISTING: SCHLUTER-RENO-RAMP-AERP 100 B65
CERAMIC TILE TO EPOXY: SCHLUTER-SCHIENE-AE100
CERAMIC TILE TO SHEET VINYL: SCHLUTER-SCHIENE-AE100

FABRIC WRAPPED PANELS

AS MANUFACTURED BY CARNEGIE FABRICS
SALES REPRESENTATIVE: TERRI MARTELL
PHONE: 305-562-6411

FWP-1
STYLE: XOREL - FLUX 6557
COLOR: #71
CONTENTS: 100% XOREL
WIDTH: 56"
REPEAT: 3/4" LENGTH
BACKING: ACRYLIC BACKING

CUBICLE CURTAIN

AS MANUFACTURED BY DESIGNTEX
SALES REPRESENTATIVE: STAN SKULSKI
PHONE: 610-864-2344

TO BE INSTALLED 15" A.F.F. TO BOTTOM OF HEM WITH CODE COMPLIANT MESH AT TOP WHERE REQUIRED.

CC-1
STYLE: SUGAR LASH 7510-402
COLOR: TEMPEST
WIDTH: 72"
PATTERN REPEAT: 48 1/2" V, 24 1/4" H
CONTENTS: 100% TREVIRA CS

WINDOW TREATMENT

AS MANUFACTURED BY MECHOSHADES SYSTEMS
SALES REPRESENTATIVE: RICH ROSENBAUM
PHONE: 215-682-9075

WT-1
MANUAL SHADE: MECH/DS SLIMLINE WITH FASCIA OR APPROVED EQUAL
MOUNT: WALL OR CEILING
SHADECLOTH: ECOVEIL 1350 SERIES (5% OPEN)
COLOR: WHITE 1351
CONTENT: 100% THERMOPLASTIC OLEFIN
WIDTH: 100"
NFPA 701-2004: PASS
FOR USE ON ALL EXTERIOR WINDOWS EXCEPT FOR 1ST FLOOR ENTRANCE AND 2ND FLR WAITING, U.N.O.

WINDOW FILM

AS MANUFACTURED BY 3M
SALES REPRESENTATIVE: BOB SWARTLEY
PHONE: 610-409-8000

WF-1
STYLE: FASARA DECORATIVE WINDOW FILMS
PATTERN: RIKYU SH2PTRK
DIMENSIONS: 50"W x 98.4L

SPECIALTY EQUIPMENT SCHEDULE

EQUIP. NUMBER	EQUIPMENT DESCRIPTION	RESPONSIBILITIES: PURCHASED BY	RELOCATED/ PLACED BY	INSTALLED BY	REQUIRES BLOCKING	REMARKS
001	COMPUTER WITH KEYBOARD AND MOUSE	OWNER		CONTRACTOR		INSTALLED WITH LINKS PANIC ALARM SYSTEM
002	EXAM TABLE		OWNER	OWNER		
003	EXAM TABLE		OWNER	OWNER		
005	WORKSTATION MOUNTING BRACKET W/ADJUSTIBLE ARM	OWNER		CONTRACTOR	X	
007	MOBILE CART		OWNER	OWNER		
008	PATIENT TABLE WITH CHATTANOOGA		OWNER	OWNER		
010	CRASH CART		OWNER	OWNER		
011	SINGLE BOX GLOVE DISPENSER	OWNER		CONTRACTOR		
014	HAMPER, SOILED LINEN		OWNER	OWNER		
018	LIGHT, EXAM, PORTABLE	OWNER		OWNER		
021	LOCKERS		CONTRACTOR	CONTRACTOR		
023	MICROWAVE	OWNER		OWNER		
025	PRINTER/FAX/COPIER, COUNTERTOP	OWNER		CONTRACTOR		
026		OWNER		CONTRACTOR		
031	REFRIGERATOR WITH FREEZER	OWNER		CONTRACTOR		
032	REFRIGERATOR, UNDERCOUNTER	OWNER		CONTRACTOR		
033	REFRIGERATOR, UNDERCOUNTER	OWNER		CONTRACTOR		
033A	REFRIGERATOR WITH FREEZER	OWNER		CONTRACTOR		
034	DISPOSAL, SHARPS, WALL MOUNT	OWNER		CONTRACTOR		
034B	DISPOSAL, SHARPS, WALL MOUNT	OWNER		CONTRACTOR		
035	MOBILE CASEWORK		OWNER	OWNER		
044	VISUAL DISPLAY BOARD, 48"	CONTRACTOR		CONTRACTOR		
047A	TV, 51" LCD, WALL MOUNTED	CONTRACTOR		CONTRACTOR	X	
047B	TV, 41" LCD, WALL MOUNTED	CONTRACTOR		CONTRACTOR	X	
047C	TV, 51" LCD, WALL MOUNTED	CONTRACTOR		CONTRACTOR	X	
051	BLOOD PRESSURE MACHINE		OWNER	OWNER		
058	SCALE, CLINICAL, ADULT, DIGITAL, FLOOR		OWNER	OWNER		
070	DISH WASHER		OWNER	OWNER		
071	WASHING MACHINE		OWNER	OWNER		
072	DRIER		OWNER	OWNER		
073A	HOT/COLD PACK		OWNER	OWNER		HOT PACK
073B	HOT/COLD PACK		OWNER	OWNER		COLD PACK
074	MIRROR, WALL MOUNTED	CONTRACTOR		CONTRACTOR		
074A	MIRROR, MOBILE		OWNER	OWNER		
116	STOVE		OWNER	OWNER		
117	ELLIPTICAL CROSS TRAINER		CONTRACTOR	CONTRACTOR		
118	UPRIGHT BIKE		OWNER	OWNER		
119A	ROW MACHINE		CONTRACTOR	CONTRACTOR		
119B	LOW ROW MACHINE		CONTRACTOR	CONTRACTOR		
120	CABLE COLUMN		CONTRACTOR	CONTRACTOR		
121	ABDOMINAL MACHINE		CONTRACTOR	CONTRACTOR		
122	ARM CURL MACHINE		CONTRACTOR	CONTRACTOR		
123	BICEPTS/TRICEPTS MACHINE		CONTRACTOR	CONTRACTOR		
124	CHEST PRESS		CONTRACTOR	CONTRACTOR		
125	LATERAL PULL MACHINE		CONTRACTOR	CONTRACTOR		
126	GLUTE MACHINE		CONTRACTOR	CONTRACTOR		
127	LEG CURL MACHINE		CONTRACTOR	CONTRACTOR		
128	LEG PRESS MACHINE		CONTRACTOR	CONTRACTOR		
129	LEG EXTENSION MACHINE		CONTRACTOR	CONTRACTOR		
130	SHOULDER PRESS		CONTRACTOR	CONTRACTOR		
131	TORSO ROTATION MACHINE		CONTRACTOR	CONTRACTOR		
132A	DECLINE BENCH		CONTRACTOR	CONTRACTOR		
132B	FLAT BENCH		CONTRACTOR	CONTRACTOR		
132C	FLAT BENCH		CONTRACTOR	CONTRACTOR		
133	OVERHEAD PRESS		CONTRACTOR	CONTRACTOR		
134	LEG RISE MACHINE		CONTRACTOR	CONTRACTOR		
136	DUMBELL RACK		CONTRACTOR	CONTRACTOR		
137	PUNCHING BAG		CONTRACTOR	CONTRACTOR		PROVIDE UNISTRUT SUPPORTS ABOVE CEILING
138	CHAIR, CLINICAL, RECLINER, TREATMENT	OWNER		CONTRACTOR		
150	DOLLY		OWNER	OWNER		
151	SKELETON		OWNER	OWNER		
152	WEIGHT STORAGE		OWNER	OWNER		
154A	MATT TABLE		OWNER	OWNER		
154B	TREATMENT TABLE		OWNER	OWNER		
154C	TREATMENT TABLE		OWNER	OWNER		
155	TREADMILL		OWNER	OWNER		
156A	TREADMILL		OWNER	OWNER		
156B	TREADMILL		OWNER	OWNER		
156C	TREADMILL		OWNER	OWNER		
156D	TREADMILL		CONTRACTOR	CONTRACTOR		
156E	TREADMILL		OWNER	OWNER		
159A	PARRALLEL BARS	OWNER		OWNER		
159B	PARRALLEL BARS, WALL MOUNTED	OWNER		OWNER	X	
160A	WALL PULLY		OWNER	OWNER	X	
160B	WALL PULLY		OWNER	OWNER	X	
160C	WALL PULLY		OWNER	OWNER	X	
160D	WALL PULLY		OWNER	OWNER	X	
162	CYBEX MACHINE		OWNER	OWNER		
163	ELLIPTICAL TOTAL BODY MACHINE		OWNER	OWNER		
164	TRAINING STAIRS		OWNER	OWNER		
165	ELLIPTICAL PRECOR		OWNER	OWNER		
166	CABLE MACHINE		OWNER	OWNER		
167	LEG PRESS		OWNER	OWNER		
169	RECUMBENT BIKE		OWNER	OWNER		
170	UPRIGHT BIKE		OWNER	OWNER		
172	RESISTANCE SYSTEM		OWNER	OWNER		
173	UPPER BODY EXERCISOR		OWNER	OWNER		
174	PEG BOARD		CONTRACTOR	CONTRACTOR	X	
175	HYDRAFITNESS MACHINE		OWNER	OWNER		
176	SOUND BOOTH	OWNER		CONTRACTOR		BOD: MIDLANTIC TECHNOLOGIES GROUP - ACOUSTIC SYSTEMS CUSTOM DOUBLE WALL CONTROL / DOUBLE WALL EXAM AUDIOMETRIC TEST SUITE
177	CLOCK	OWNER		OWNER		
179	SHOULDER SLIDE MACHINE		OWNER	OWNER	X	
180	WEIGHT BALL STORAGE		OWNER	OWNER		
181	TRAMPOLINE		OWNER	OWNER		
182	TREATMENT TABLE		OWNER	OWNER		
183	HAND CYCLE MACHINE		OWNER	OWNER		
184	FUILIDOTHERAPY MACHINE		OWNER	OWNER		
185	CARDIO CARE BIKE		OWNER	OWNER		
186	SIDE TABLE		OWNER	OWNER		
187A	BENCH A		OWNER	OWNER		
187B	BENCH B		OWNER	OWNER		
187C	BENCH C		OWNER	OWNER		
188	PRACTICE TOILET		OWNER	OWNER		NO PLUMBING CONNECTION
189	PRACTICE TUB		OWNER	OWNER		NO PLUMBING CONNECTION
190	ZIPPERED STORAGE		OWNER	OWNER		
191	METAL SHELVING		OWNER	OWNER		
192A	KILN		OWNER	OWNER		
192B	KILN		OWNER	OWNER		
193	BENCH WITH TOOLS		OWNER	OWNER		
194	COMBUSTABLE TRASH CAN		OWNER	OWNER		
196	BENCH, LOCKER ROOM		CONTRACTOR	CONTRACTOR		
197	WORK TABLE, OT		OWNER	OWNER		
198	STORAGE CABINET, METAL, LARGE		OWNER	OWNER		
199	STORAGE CABINET, METAL, SMALL		OWNER	OWNER		
200	LIFT, BARIATRIC, PORTABLE - NATATORIUM GRADE	OWNER		CONTRACTOR		BOD: SR SMITH SPLASH! SERIES
201	LIFT, BARIATRIC, CEILING MOUNTED		CONTRACTOR	CONTRACTOR		COORDINATE RELOCTION OF LIFT WITH VA
202	MONITOR, CLOSED CIRCUIT, 15"	OWNER		CONTRACTOR		
203	HOT PACK RACK		OWNER	OWNER	X	
204	DRYING RACK	OWNER		CONTRACTOR		
205	COMPUTER WORKSTATION, MOBILE	OWNER		OWNER		

FULLY SPRINKLERED

NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	12" = 1'-0"

Drawing Title: SCHEDULES

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	TN	JTM/BG

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: AE704

Dwg. 40 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

Type A F40FB0-ABB
22.0"w X 44.0"h
Accommodates Insert

Type B F40CB0-W1
11.0"w X 22.5"h
Accommodates Insert

Type B.2 F40BB0-N1
8.5"w X 15.75"h
Accommodates Insert

Type D F40BB0-R1
8.5"w X 18.75"h
Accommodates Insert

Type E F40BB3-BC
8.5"w X 9.25"h

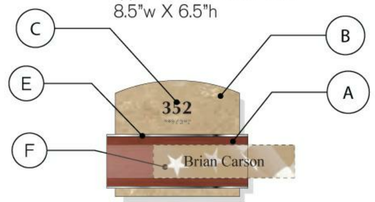
Type E.2 F40BB3-BC
8.5"w X 9.25"h

Type E.3 F40BB0-F2
8.5"w X 9.0"h

Type F F40AB0-BB
5.0"w X 4.5"h

Type G F40BB0-BB
8.5"w X 5.5"h

Type G.2 F40BB1-BB
8.5"w X 6.5"h



Type H F40BB0-D1
8.5"w X 7.0"h
Accommodates Insert

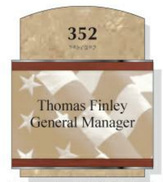
Type J F40BB0-F2S
8.5"w X 11.25"h

Type L WS10301
8.5"w X 3.0"h
Accommodates Insert

Type M F40DB0-BA-F
14.25"w X 10.25"h
Double Sided

Type N LD31405
14.0"w X 15.0"h

Type C V711-3S
44.0"w X 7.0"h
Double Sided, Accommodates Insert



Type I F40BB0-G1
8.5"w X 10.25"h
Accommodates Insert

BRN

Face Finish
A **LW104** Dark Cherry

Backer Finish
B **LT3526** Travertine

Raised Copy
C **CO101** Black
Font Optima Bold

Raised Copy
D **CO105** Desert Sand
Font Optima Bold

Metal Accent
E Polished

Insert
F Media: Ivory Paper;
Font: Times New Roman (Type D Optima Bold);
Graphics/Copy Color: Black;
Background: shutterstock_21682717_sepia.jpg
Type D- No Background Image

G Acrylic Construction:
Digitally Printed to
resemble <**LW104** Dark Cherry>

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Fusion™
SIGNAGE FOR INTERIOR SPACES

Client:
VA Hospital:

Project:
VA Hospital:

Date: Drawn By:

Filename:

Revisions:

Fusion 40

Notes:
Not to scale.
Dimensions indicated are approximate.
Request Approval Drawings for exact dimensions.

Sample text shown for layout only.

Product Approval

NO CHANGES
Approved By: _____
Date: _____

WITH CHANGES AS NOTED
Approved By: _____
Date: _____

Product will be manufactured as indicated on this document. Please review carefully.

Rendering 1 of 1
FOR REFERENCE ONLY

FULLY SPRINKLERED
NOTE: SEE SHEET AE-002 FOR DEDUCT ALTERNATES ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N.DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1623 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	

Drawing Title: SIGNAGE STANDARDS	Project Title: RENOVATE BUILDING 69	VA Project Number: 542-CSI-203	Office of Facilities Management
Approved: Project Director	Location: 1400 Black Horse Hill, Coatesville, PA	Building Number: 69	
	Date: 03-29-13 / Checked: TN / Drawn: BG	Drawing Number: AE705	Department of Veterans Affairs
		Dwg. 41 of 86	

VA FORM 08-6231, OCT 1978

GENERAL NOTES AND SPECIFICATIONS

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND NATIONAL CODES ALONG WITH ALL VA STANDARDS. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
2. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED FOR HIS WORK.
3. ALL MATERIALS, EQUIPMENT AND PRODUCTS INCORPORATED IN THE WORK UNDER THE CONTRACT SHALL BE NEW, OF A SUITABLE GRADE FOR THE PURPOSES INTENDED, AND TO THE EXTENT POSSIBLE, STANDARD PRODUCTS OF THE VARIOUS MANUFACTURERS EXCEPT WHERE SPECIAL CONSTRUCTION OR PERFORMANCE FEATURES ARE CALLED FOR.
4. ANY EQUIPMENT OR MATERIAL DEVIATIONS FROM THAT SPECIFIED OR DETAILED ON THIS DRAWING SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER. ALL PROPOSED EQUIPMENT DEVIATIONS SUBMITTED SHALL BE SIMILAR BOTH IN QUALITY AND CAPACITY TO THAT EQUIPMENT SPECIFIED.
5. ALL MECHANICAL EQUIPMENT SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORIES (U.L.).
6. THE MECHANICAL CONTRACTOR SHALL INSTALL EQUIPMENT AS SHOWN ON THE DRAWINGS ALLOWING FOR SUFFICIENT ACCESS AND CLEARANCE SPACE FOR EQUIPMENT MAINTENANCE, REPAIRS AND REPLACEMENT. PROVIDE PROPER CLEARANCES FOR REQUIRED PIPING AND ELECTRICAL SERVICES AND CONNECTIONS. INSTALL ALL EQUIPMENT WITH REQUIRED ACCESS AND CLEARANCES IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS AND/OR WITH ALL APPLICABLE CODES AND STANDARDS.
7. THE MECHANICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION AND ROUTING OF ALL PROPOSED DUCTWORK, PIPING AND EQUIPMENT WITHIN THE BUILDING STRUCTURE.
8. THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL HIS OWN SUPPORT EQUIPMENT. LOCATIONS SHALL BE COORDINATED WITH ALL CONTRACTORS PRIOR TO INSTALLATION.
9. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POWER CONNECTIONS TO THE EQUIPMENT PROVIDED UNDER THIS CONTRACT.
10. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROL WIRING FOR HIS EQUIPMENT.
11. DUCTWORK AND PIPING LAYOUTS AND LOCATIONS ARE SCHEMATIC. DO NOT SCALE THESE DRAWINGS. EXACT ROUTING OF DUCTWORK AND PIPING MUST BE DETERMINED IN THE FIELD. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR BY ACTUAL MEASUREMENT AND OBSERVATION BEFORE ORDERING OR FABRICATING ANY DUCTWORK, PIPING OR EQUIPMENT. ANY DISCREPANCIES BETWEEN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS OR DIMENSIONS SHALL BE REPORTED TO THE A/E AND VMAC COTR BEFORE THE PERFORMANCE OF ANY WORK. FAILURE TO VERIFY AND REPORT SHALL CONSTITUTE THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS AS FIT FOR THE PROPER EXECUTION OF HIS WORK. SEE ARCHITECTURAL DRAWINGS FOR FINAL LOCATION OF CEILING INSTALLED.
12. DUCTWORK AND PIPING SHALL BE KEPT AS CLOSE AND HIGH AS POSSIBLE TO THE BUILDING WALLS, CEILING AND FLOOR AND ROOF STRUCTURE IN ORDER THAT THE MAXIMUM AMOUNT OF SPACE IS AVAILABLE. ADDITIONAL OFFSETS, FITTINGS, ETC. NOT SHOWN BUT REQUIRED TO MAINTAIN MAXIMUM CLEARANCE SHALL BE PROVIDED AT NO ADDITIONAL COST,
13. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING, PAINTING AND CLEANING ASSOCIATED WITH THIS PROJECT UNLESS NOTED OTHERWISE.
14. PROVIDE A COMPLETE 1-YEAR WARRANTY ON ALL LABOR AND MATERIALS.
15. CONTRACTOR SHALL FURNISH A BOUND SET OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT TO THE OWNER UPON COMPLETION OF PROJECT.
16. INSTALL ESCUTCHEONS IN ALL PLACES WHERE PIPING PENETRATES A WALL IN AN EXPOSED LOCATION.
17. THE MECHANICAL CONTRACTOR SHALL MAKE A COMPLETE REVIEW OF THE MECHANICAL PLANS, INCLUDING THE SCHEDULES AND DETAILS PRIOR TO INSTALLATION OF ANY MECHANICAL SYSTEMS AND SHALL RESOLVE ANY CONFLICTS WITH THE ENGINEER.
18. CONTRACTOR SHALL TAKE POSSESSION OF AND DISPOSE OF ALL EXISTING MATERIALS AND EQUIPMENT BEING DEMOLISHED AND/OR REMOVED. ALL ITEMS SHALL BE DISPOSED OF IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS THAT APPLY. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISPOSAL.
19. INSTALL SHUTOFF-DUTY VALVES AT EACH BRANCH CONNECTION TO SUPPLY MAINS, AND AT SUPPLY CONNECTION TO EACH PIECE OF EQUIPMENT. INSTALL CHECK VALVES AT EACH PUMP DISCHARGE AND ELSEWHERE AS REQUIRED TO CONTROL FLOW DIRECTION.
20. DRAWING PLANS, SCHEMATICS, AND DIAGRAMS INDICATE GENERAL LOCATION AND ARRANGEMENT OF PIPING SYSTEMS. INSTALL PIPING INDICATED TO BE EXPOSED AND PIPING IN EQUIPMENT ROOMS AND SERVICE AREAS AT RIGHT ANGLES OR PARALLEL TO BUILDING WALLS. DIAGONAL RUNS ARE PROHIBITED UNLESS SPECIFICALLY INDICATED OTHERWISE. INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL PIPING TO ALLOW APPLICATION OF INSULATION
21. REAM ENDS OF PIPES AND TUBES AND REMOVE BURRS. BEVEL PLAIN ENDS OF STEEL PIPE. REMOVE SCALE, SLAG, DIRT, AND DEBRIS FROM INSIDE AND OUTSIDE OF PIPE AND FITTINGS BEFORE ASSEMBLY.
22. THREADED JOINTS: THREAD PIPE WITH TAPERED PIPE THREADS ACCORDING TO ASME B1.20.1. CUT THREADS FULL AND CLEAN USING SHARP DIES. REAM THREADED PIPE ENDS TO REMOVE BURRS AND RESTORE FULL ID. JOIN PIPE FITTINGS AND VALVES AS FOLLOWS: APPLY APPROPRIATE TAPE OR THREAD COMPOUND TO EXTERNAL PIPE THREADS UNLESS DRY SEAL THREADING IS SPECIFIED. DAMAGED THREADS: DO NOT USE PIPE OR PIPE FITTINGS WITH THREADS THAT ARE CORRODED OR DAMAGED. DO NOT USE PIPE SECTIONS THAT HAVE CRACKED OR OPEN WELDS.
23. INSTALL MANUAL AIR VENTS AT HIGH POINTS IN PIPING, AT HEAT-TRANSFER COILS, AND ELSEWHERE AS REQUIRED FOR SYSTEM AIR VENTING.
24. CUT INSULATION IN A MANNER TO AVOID COMPRESSING INSULATION MORE THAN 75 PERCENT OF ITS NOMINAL THICKNESS. FINISH INSTALLATION WITH SYSTEMS AT OPERATING CONDITIONS. REPAIR JOINT SEPARATIONS AND CRACKING DUE TO THERMAL MOVEMENT. REPAIR DAMAGED INSULATION FACINGS BY APPLYING SAME FACING MATERIAL OVER DAMAGED AREAS. EXTEND PATCHES AT LEAST 4 INCHES BEYOND DAMAGED AREAS. ADHERE, STAPLE, AND SEAL PATCHES SIMILAR TO BUTT JOINTS.
25. INSULATE INSTRUMENT CONNECTIONS FOR THERMOMETERS, PRESSURE GAGES, PRESSURE TEMPERATURE TAPS, TEST CONNECTIONS, FLOW METERS, SENSORS, SWITCHES, AND TRANSMITTERS ON INSULATED PIPES, VESSELS, AND EQUIPMENT. SHAPE INSULATION AT THESE CONNECTIONS BY TAPERING IT TO AND AROUND THE CONNECTION WITH INSULATING CEMENT AND FINISH WITH FINISHING CEMENT, MASTIC, AND FLASHING SEALANT.
26. THE MECHANICAL CONTRACTOR SHALL TAKE THE LEAD IN PREPARATION OF COORDINATION DRAWINGS. SUCH DRAWINGS SHALL BE COMPLETED WITH COORDINATION FROM THE GENERAL CONTRACTOR AND ALL OTHER MAJOR AND MINOR SUBCONTRACTORS. PROVIDE PLAN VIEWS, SECTIONS AND ELEVATIONS, AS REQUIRED, TO FULLY COORDINATE ALL NEW WORK WITH ITSELF AND EXISTING CONDITIONS. DRAWINGS SHALL SHOW, BUT NOT BE LIMITED TO, ALL DUCTWORK, AIR DISTRIBUTION, MECHANICAL EQUIPMENT, MECHANICAL PIPING, FIRE PROTECTION PIPING, PLUMBING PIPING, CABLE TRAYS, LIGHTING FIXTURES, CEILING GRID AND HEIGHT, BEAMS AND JOISTS (WITH ELEVATIONS MARKED), ELECTRICAL CONDUIT LARGER THAN 2 INCHES IN DIAMETER AND ANY OTHER CEILING MOUNT DEVICES OR EQUIPMENT THAT PROTRUDE INTO THE CEILING CAVITY. IF THERE ARE ANY OUTSTANDING ISSUES THAT CANNOT BE RESOLVED, CONSULT WITH ARCHITECT AND/OR ENGINEER (THROUGH THE VA COTR) FOR GUIDANCE AND MAKE CORRECTIONS IN ACCORDANCE WITH DIRECTIONS GIVEN. IT IS IMPORTANT TO NOTE THAT FABRICATION CANNOT BEGIN UNTIL COORDINATION DRAWINGS HAVE BEEN APPROVED. ANY INSTALLATION COMMENCED PRIOR TO APPROVAL IS TAKEN AT THE CONTRACTORS OWN RISK AND MAY HAVE TO BE MODIFIED, MOVED AND/OR RECONFIGURED AT CONTRACTORS COST.

DEDUCT ALTERNATES

ALT #1 — ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:
EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3ft deep reinforced concrete footings (see structural). Provide metal panel fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 — ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:
Add one (1) wythe brick and precast concrete cap to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 — ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:
Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigid insulation at exterior side of CMU.

ALT #5 — ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:
Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 — ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:
EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 — ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:
Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5" deep by 6' wide sidewalk on compacted fill with turned down edge at South and Southwest sides. Provide 2.5" OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 — ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:
Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 — ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:
Provide ventilation supply and exhaust ductwork demolition and installation.

ABBREVIATIONS

A/E	ARCHITECT / ENGINEER
AAHX	AIR TO AIR HEAT EXCHANGER
AB	AIR BLENDER
AAV	AUTOMATIC AIR VENT
ACC	AIR COOLED CONDENSER
ACCH	AIR COOLED CHILLER
ACCU	AIR-COOLED CONDENSING UNIT
ACU	AIR CONDITIONING UNIT
ACD	AUTOMATIC CONTROL DAMPER,MODULATING
ACD-TP	AUTOMATIC CONTROL DAMPER,TWO POSITION
AD	ACCESS DOOR
AF	AFTER FILTER
AFCV	AIR FLOW CONTROL VALVE
AFF	ABOVE FINISHED FLOOR
AFMD	AIR FLOW MEASURING DEVICE
AFW	AIR FOIL WHEEL (FAN)
AHU	AIR-HANDLING UNIT
AMP	AMPERGE
AP	ACCESS PANEL
APD	AIR PRESSURE DROP
ARI	AIR CONDITIONING AND REFRIGERATION INSTITUTE
AS	AIR SEPARATOR
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
AW	AIR WASHER
AXF	AXIAL FLOW
B	BOILER
BD	BUTTERFLY DAMPER
BDD	BACKDRAFT DAMPER
BDR	BASE BOARD RADIATOR
BFP	BACKFLOW PREVENTER
BFT	BOILER PLANT FIRE TUBE
BG	BOTTOM GRILLE
BHP	BRAKE HORSEPOWER
BHW	HOT WATER HEATING BOILER
BHX	BOILER BLOWDOWN HEAT EXCHANGER
BIW	BACKWARD INCLINED WHEEL (FAN)
BMT	BONE MARROW TRANSPLANT
BR	BOTTOM REGISTER
BSC	BIOLOGICAL SAFETY CABINETS
BT	BLOWOFF TANK
BTC	BLOWOFF TANK CONTROL VALVE
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNIT PER HOUR
BWT	BOILER PLANT WATER TUBE
C	CENTIGRADE (CELCIUS)
CC	COOLING COIL
CCD	COOLING COIL CONDENSATE DRAIN
CD	CEILING DIFFUSER
CENT	CENTRIFICAL
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CFT	CUBIC FEET
CFP	CHEMICAL FEED PUMP
CG	CEILING GRILLE
CH	CHILLER
CHP	CHILLED WATER PUMP
CHW	CHILLER WATER
CHR	CHILLED WATER RETURN
CHS	CHILLED WATER SUPPLY
CI	CAST IRON
CM	CARBON MONOXIDE
CM	CUBIC METER
CM/S	CUBIC METER PER SECOND
CO	CLEAN OUT
CO2	CARBON DIOXIDE
COMP	COMPRESSOR UNIT
COP	COEFFICIENT OF PERFORMANCE
CP	CONDENSATE PUMP
CR	CEILING REGISTER
CS	CONDENSATE STORAGE TANK
CSG	CLEAN STEAM GENERATOR
CT	COOLING TOWER
CU	CONDENSING UNIT
CUH	CABINET UNIT HEATER
CV	CONSTANT VOLUME
CW	COLD WATER (POTABLE)
CWCC	CHILLED WATER COOLING COIL
CWP	CONDENSER WATER PUMP
CWR	CONDENSER WATER RETURN (TO COOLING TOWER)
CWS	CONDENSER WATER SUPPLY (FROM COOLING TOWER)
D	DAMPER - AUTOMATIC
D-1	OUTDOOR AIR DAMPER
D-2	RETURN AIR DAMPER
D-3	RELIEF AIR DAMPER
DB	DECIBELS
Db	DRY-BULB TEMPERATURE
DDC	DIRECT DIGITAL CONTROLS
DEG	DEGREE
DF	DIFFUSER
DIA	DIAMETER
DIW	DEIONIZED WATER
DP	DEW POINT TEMPERATURE
DP	DIFFUSER PLATE
DPA	DIFFERENTIAL PRESSURE ASSEMBLY
DPS	DIFFERENTIAL PRESSURE SENSOR
DX	DIRECT EXPANSION
DXCC	DIRECT EXPANSION COOLING COIL
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EC	EVAPORATIVE COOLER
ECC	ENGINEERING CONTROL CENTER
ECU	EVAPORATIVE CONDENSER UNIT
EDH	ELECTRIC DUCT HEATER
EER	ENERGY EFFICIENCY RATIO
EF	EXHAUST FAN
EG	EXHAUST GRILLE
EGS	EMERGENCY GAS SHUTOFF
EGT	ENTERING GLYCOL TEMPERATURE
EH	EXHAUST HOOD
EJ	EXPANSION JOINT
EMD	END OF MAIN DRIP (STEAM)
ENT	ENTERING
ER	EXHAUST REGISTER
ERC	ELECTRIC REHEAT COIL
ERP	ELECTRIC RADIANT PANEL
ESP	EXTERNAL STATIC PRESSURE
ET	EXPANSION TANK
ETO	ETHYLENE OXIDE
EUH	ELECTRIC UNIT HEATER
EWC	EVAPORATIVE WATER COOLER
EWT	ENTERING WATER TEMPERATURE
EX.	EXISTING
F	FAHRENHEIT
F&T	FLOAT AND THERMOSTATIC
F/SDPR	COMBINATION FIRE SMOKE DAMPER
FA	FREE AREA
FC	FLEXIBLE CONNECTION
FCU	FAN COIL UNIT (4 PIPE)
FCUC	FAN COIL UNIT COOLING ONLY
FCUH	FAN COIL UNIT HEATING ONLY
FCW	FORWARD CURVED WHEEL (FAN)
FD	FLOOR DRAIN
FD	FIRE DAMPER
FF	FINAL FILTER
FHX	FLUE GAS/FEEDWATER HEAT EXCHANGER
FM	FLOW METER
FOP	FUEL OIL PUMP
FOT	FUEL OIL TANK
FOHX	FUEL OIL HEAT EXCHANGER
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FPTU	FAN POWERED TERMINAL UNIT
FR	FLOOR REGISTER
FRP	FIBER REINFORCED POLYESTER
FS	FLOW SWITCH
FSTAT	FREEZESTAT
FT	FEET
FT-LB	FOOT-POUND
FTR	FIN TUBE RADIATION
FV	FACE VELOCITY
GA	GAUGE
GAL	GALLONS
GH	GRAVITY HOOD
GPD	GALLONS PER DAY
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GPR	GAS PRESSURE REGULATOR
GS	GALVANIZED STEEL
H	HUMIDIFER
H&CW	HOT & COLD WATER
HAC	HOUSEKEEPING AID CLOSET
HB	HOSE BIBB
HC	HEATING COIL
HD	HEAD
HD	HOOD
HOA	HAND/OFF/AUTOMATIC
HP	HEAT PUMP
HP	HORSEPOWER
HPDT	HIGH PRESSURE DRIP TRAP
HPR	HIGH PRESSURE RETURN (STEAM CONDENSATE)
HPS	HIGH PRESSURE SUPPLY (STEAM)
HRC	HEAT RECOVERY COIL
HRD	HEAT RECOVERY DEVICE
HRP	HYDRONIC RADIANT (CEILING) PANEL
HRW	HEAT RECOVERY WHEEL
HSTAT	HUMIDISTAT
HTM	HUMIDIFIER TERMINAL
HUM	HUMIDIFIER UNIT MOUNTED
HVU	HEATING AND VENTILATING UNIT
HW	HOT WATER
HWC	HOT WATER COIL
HWHC	HOT WATER HEATING COIL
HWP	HEATING HOT WATER PUMP
HWR	HEATING HOT WATER RETURN
HWS	HEATING HOT WATER SUPPLY
HWUH	HOT WATER UNIT HEATER
HVD	HOISTWAY VENT DAMPER
HX	HEAT EXCHANGER
HZ	HERTZ
I/O	INPUT/OUTPUT
IAQ	INDOOR AIR QUALITY
IBT	INVERTED BUCKET TRAP
ICF	IN-LINE CENTRIFUGAL FAN
ICU	INTENSIVE CARE UNIT
ID	INSIDE DIAMETER
IFB	INTEGRAL FACE AND BYPASS
IN	INCHES
IN HG	INCHES OF MERCURY
IN WC	INCH WATER COLUMN
IN WG	INCH WATER GAUGE
IN-LB	INCH-POUND
IPLV	INTERGRATED PART LOAD VALUE
IRH	INTRARED HEATER
IS	INSECT SCREEN
IU	INDUCTION UNIT
IV	INLET VANES
kg	KILOGRAM
kg/HR	KILOGRAM PER HOUR
kPa	KILOPASCAL
kW	KILOWATT
kWh	KILOWATT HOUR
L	LITER
L/h	LITERS PER HOUR
L/m	LITERS PER MINUTE
L/s	LITERS PER SECOND
LAT	LEAVING AIR TEMPERATURE
LBS/HR	POUNDS PER HOUR
LF	LINEAR FOOT (FEET)
LGT	LEAVING GLYCOL TEMPERATURE
LH	LATENT HEAT
LPG	LIQUID PROPANE GAS
LPR	LOW PRESSURE RETURN (STEAM CONDENSATE)
LPRC	LOW PRESSURE STEAM RETURN (CLEAN)
LLHX	LIQUID TO LIQUID HEAT EXCHANGER
LPS	LOW PRESSURE STEAM
LPSC	LOW PRESSURE STEAM (CLEAN)
LSD	LINEAR SLOT DIFFUSER
LTCP	LOCAL TEMPERATURE CONTROL PANEL
LVG	LEAVING
LVR	LOUVER
LWT	LEAVING WATER TEMPERATURE
M	METER, SI UNIT
M/s	METERS PER SECOND (OR METERS/SECOND)
MA	MIXED AIR
MAT	MIXED AIR TEMPERATURE
MAU	MAKE-UP AIR UNIT
MAV	MANUAL AIR VENT
MAX	MAXIMUM
MB	MIXING BOX
MBH	1000 BTUH
MCA	MINIMUM BRANCH CIRCUIT AMPACITY
MER	MECHANICAL EQUIPMENT ROOM
MERV	MINIMUM EFFICIENCY REPORTING VALUE
MH	MANHOLE
MHP	MOTOR HORSEPOWER
MIN	MINIMUM
MM	MILLIMETER
MOV	MOTOR OPERATED VALVE
MPR	MEDIUM PRESSURE RETURN (STEAM CONDENSATE)
MPS	MEDIUM PRESSURE STEAM
MRI	MAGNETIC RESONANCE IMAGING
MTD	MEAN TEMPERATURE DIFFERENCE
MVD	MANUAL VOLUME DAMPER
MZ	MULTI-ZONE
NA	NOT APPLICABLE
NC	NOISE CRITERIA
NC	NORMALLY CLOSED
NG	NATURAL GAS
NGFM	NATURAL GAS FLOWMETER
NO	NORMALLY OPEN
NOAA	NATIONAL OCEANIC & ATMOSPHERIC ADMINISTRATION
NOM	NOMINAL
NPLV	NON-STANDARD PART LOAD VALUE
NPSH	NET POSITIVE SUCTION HEAD
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OAG	OUTSIDE AIR GRILLE
OAI	OUTSIDE AIR INTAKE
OD	OUTSIDE DIAMETER
OFM	OIL FLOWMETER
OR	OPERATING ROOM
P	PUMP
PA	PASCAL
PC	PUMPED CONDENSATE
PCF	POUNDS PER CUBIC FOOT (FEET)
PD	PRESSURE DROP
PEF	PROPELLER (TYPE) EXHAUST FAN
PF	PRE-FILTER
PG	PRESSURE GAGE
PGW	PROPYLENE GLYCOL-WATER (SOLUTION)
PHC	PREHEAT COIL
PPM	PARTS PER MILLION
PRS	PRESSURE REGULATING (VALVE) STATION
PRV	PRESSURE REGULATING VALVE
PSI	POUNDS PER SQUARE INCH
PSIA	POUNDS PER SQUARE INCH – ABSOLUTE
PSIG	POUNDS PER SQUARE INCH – GAGE
PSS	PRIMARY SECONDARY SYSTEM
PSV	PRESSURE SAFETY VALVE
PTAC	PACKAGED TERMINAL AIR CONDITIONER
R/E	RETURN OR EXHAUST
RA	RETURN AIR
RAD	REFRIGERANT AIR DRYER
RAF	RADIO FREQUENCY
RAHX	ROTARY AIR HEAT EXCHANGER
RAT	RETURN AIR TEMPERATURE
RCCH	REMOTE CONDENSER CHILLER
RCU	RECIPROCATING CHILLER UNIT
RD	REFRIGERANT DISCHARGE
RDS	ROOM DATA SHEETS
REA	RELIEF AIR
RF	RETURN FAN
RG	RETURN GRILLE
RH	RELATIVE HUMIDITY
RHC	REHEAT COIL
RHG	REFRIGERANT HOT GAS
RL	REFRIGERANT LIQUID LINE
RLA	RUN LOAD AMPERE
RO	REVERSE OSMOSIS
RPM	REVOLUTIONS PER MINUTE
RR	RETURN REGISTER
RS	REFRIGERANT SUCTION
RTU	ROOF TOP UNIT
RV	RELIEF VALVE
SA	SUPPLY AIR
SAD	SOUND ATTENUATING DEVICE
SAT	SUPPLY AIR TEMPERATURE
SC	SHADING COEFFICIENT
SCFM	STANDARD CUBIC FEET PER MINUTE
SCI	SPINAL CODE INJURY
SCR	SILICON CONTROLLED RECTIFIER
SD	SMOKE DETECTOR
SD	SUPPLY AIR DIFFUSER
SDPR	SMOKE DAMPER
SDR	SMOKE DAMPER (RETURN)
SDS	SMOKE DAMPER (SUPPLY)
SEN	SENSIBLE HEAT
SF	SUPPLY FAN
SG	SUPPLY AIR GRILLE
SH	STEAM HUMIDIFIER
SHC	STEAM HEATING COIL
SI	SQUARE INCHES
SP	STATIC PRESSURE
SP GR	SPECIFIC GRAVITY
SPD	SUPPLY PROCESS AND DISTRIBUTION
SPRV	STEAM PRESSURE REDUCING VALVE
SPS	STATIC PRESSURE SENSOR
SQ FT	SQUARE FOOT (FEET)
SR	SUPPLY AIR REGISTER
SS	STAINLESS STEEL
SSHX	STEAM TO STEAM HEAT EXCHANGER
SSR	SOLID SEPARATOR
ST	STEAM TRAP
SUH	STEAM UNIT HEATER
SV	STEAM PRESSURE REDUCING VALVE
SVS	STEAM VENT SILENCER
SWHX	STEAM TO WATER HEAT EXCHANGER
T & PCV	TEMPERATURE AND PRESSURE CONTROL VALVE
TAB	TESTING, ADJUSTING, BALANCE
TD	TEMPERATURE DIFFERENCE
TDH	TOTAL DYNAMIC HEAD
TDS	TOTAL DISSOLVED SOLIDS
TG	TRANSFER GRILLE
TP	TRAP
TR	TOP REGISTER
TSP	TOTAL STATIC PRESSURE
TSTAT	THERMOSTAT
TU	TERMINAL UNIT
TWU	THRU-WALL UNIT
UC	UNDER CUT
UC	UNIT COOLER
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORY
URV	UPBLAST UNIT VENTILATOR
V	VALVE
VAF	VANE-AXIAL FAN
VAV	VARIABLE AIR VOLUME
VD	VOLUME DAMPER (MANUAL OPPOSED BLADE)
VFD	VARIABLE FREQUENCY DRIVE
VHA	VETERANS HEALTH ADMINISTRATION
VI	VIBRATION ISOLATOR
VIV	VARIABLE INLET VANES
VP	VACUUM PUMP
VPS	VARIABLE PRIMARY SYSTEM
VR	VACUUM (STEAM CONDENSATE) RETURN
VSD	VARIABLE SPEED DRIVE
VUH	VERTICAL UNIT HEATER
W	WATTS
WAG	WASTE ANETHESIA GAS
Wb	WET-BULB (TEMPERATURE)
WC	WATER COOLED
WCCH	WATER COOLED CHILLER
WCCU	WATER COOLED CONDENSING UNIT
WCHP	WATER COOLED HEAT PUMPS
WCPU	WATER COOLED PACKAGED UNIT
WEF	WALL EXHAUST FAN
WF	WATER FILTER
WFCV	WATER FLOW CONTROL VALVE
WFM	WATER FLOWMETER
WFMD	WATER FLOW MEASURING DEVICE
WG	WATER GAGE
WPD	WATER SIDE PRESSURE DROP
YR	YEAR

MECHANICAL LEGEND

- CARBON DIOXIDE
- THERMOSTAT
- SUPPLY DIFFUSER
- RETURN DIFFUSER/GRILL
- EXHAUST GRILL
- ROUND FLEX DUCT
- 1i — DIFFUSER TAG
- 200 CFM — DIFFUSER CFM
- LINEAR SLOT DIFFUSER
- BALANCING DAMPER (RECTANGULAR)
- BALANCING DAMPER (ROUND)
- F — FIRE DAMPER
- SD — SMOKE DAMPER
- R — INCLINED RISE, IN DIRECTION OF AIRFLOW
- D — INCLINED DROP, IN DIRECTION OF AIRFLOW
- CONNECT NEW DUCT TO EXISTING
- LIMIT OF DEMOLITION
- VANED ELBOW (PROVIDE ALL SQUARE OR RECTANGULAR ELBOWS WITH VANES EVEN IF SYMBOL IS MISSING)
- VANED ELBOW (SHORT RADIUS)
- STANDARD RADIUS ELBOW (LONG RADIUS)
- 10x8 — NEW DUCT (INSIDE DIMENSIONS: WIDTH X DEPTH)
- EXISTING DUCT TO REMAIN
- EXISTING DUCT TO BE REMOVED
- DUCT TRANSITION
- SIDE MOUNTED GRILLE
- 45° SUPPLY / 45° RETURN — STANDARD BRANCH SUPPLY OR RETURN, NO SPLITTER (45° TAP)
- UP / DN — SUPPLY DUCT (UP & DOWN)
- UP / DN — EXHAUST DUCT (UP & DOWN)
- UP / DN — RETURN DUCT (UP & DOWN)
- HPS — HIGH PRESSURE STEAM PIPING
- MPS — MEDIUM PRESSURE STEAM PIPING
- LPS — LOW PRESSURE STEAM PIPING
- COND — CONDENSATE RETURN PIPING
- ? — UNKNOWN EXISTING PIPING
- VAC — VACUUM PIPING
- CWS — CHILLED WATER SUPPLY PIPING
- CWR — CHILLED WATER RETURN PIPING
- HWS — HOT WATER SUPPLY PIPING
- HWR — HOT WATER RETURN PIPING
- FTHWS — FIN TUBE HEATING HOT WATER SUPPLY PIPING
- FTHWR — FIN TUBE HEATING HOT WATER RETURN PIPING
- PIPE UP
- PIPE DOWN
- BOTTOM CONNECTION
- TOP CONNECTION
- CAPPED OUTLET
- GLOBE VALVE
- GATE VALVE
- BALL VALVE
- PRESSURE RELIEF VALVE
- CHECK VALVE
- PRESSURE REGULATING VALVE
- WYE STRAINER VALVE
- BALANCING VALVE
- MOTORIZED CONTROL VALVE
- STEAM TRAP
- PRESSURE REDUCING VALVE

HVAC DESIGN DATA

DESIGN CONDITIONS	SUMMER TEMP	SUMMER WET BULB TEMP	SUMMER % HUMIDITY	WINTER TEMP	WINTER DEWPOINT TEMP	WINTER % HUMIDITY	LOWEST AVERAGE ANNUAL DEWPOINT
OUTDOOR DESIGN CONDITIONS	91 °F	75 °F	48	13 °F	-4 °F		-3 °F
OFFICE	75 °F	68 °F	60	70 °F	28 °F	20	
CORRIDORS	75 °F	68 °F	60	70 °F	28 °F	20	
CLEAN UTILITY / STORAGE ROOM				70 °F			
LOCKER ROOM (WITH TOILET)	75 °F	68 °F	60	70 °F	28 °F	20	
TOILETS - PUBLIC (INTERIOR)	75 °F	68 °F		70 °F	28 °F	20	
HOUSEKEEPING AID CLOSET				70 °F			
CONFERENCE ROOM	75 °F	68 °F	60	70 °F	28 °F	20	
EXAM ROOMS	75 °F	68 °F	60	70 °F	28 °F	20	
LOUNGE BREAK	75 °F	68 °F	60	70 °F			
THERAPY	75 °F	68 °F	60	70 °F	28 °F	20	
VESTIBULE				50 °F			

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

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Associate Architects: W. COOK ARCHITECTS, 1251 ROMANSVILLE ROAD, COATESVILLE, PA, 19320, Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number: 3627
Scale: As indicated

Drawing Title: MECHANICAL NOTES, ABBREVIATIONS, AND LEGENDS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03/29/13 | Checked: DJR | Drawn: ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: M-001

Dwg. 42 of 86

Office of Facilities Management

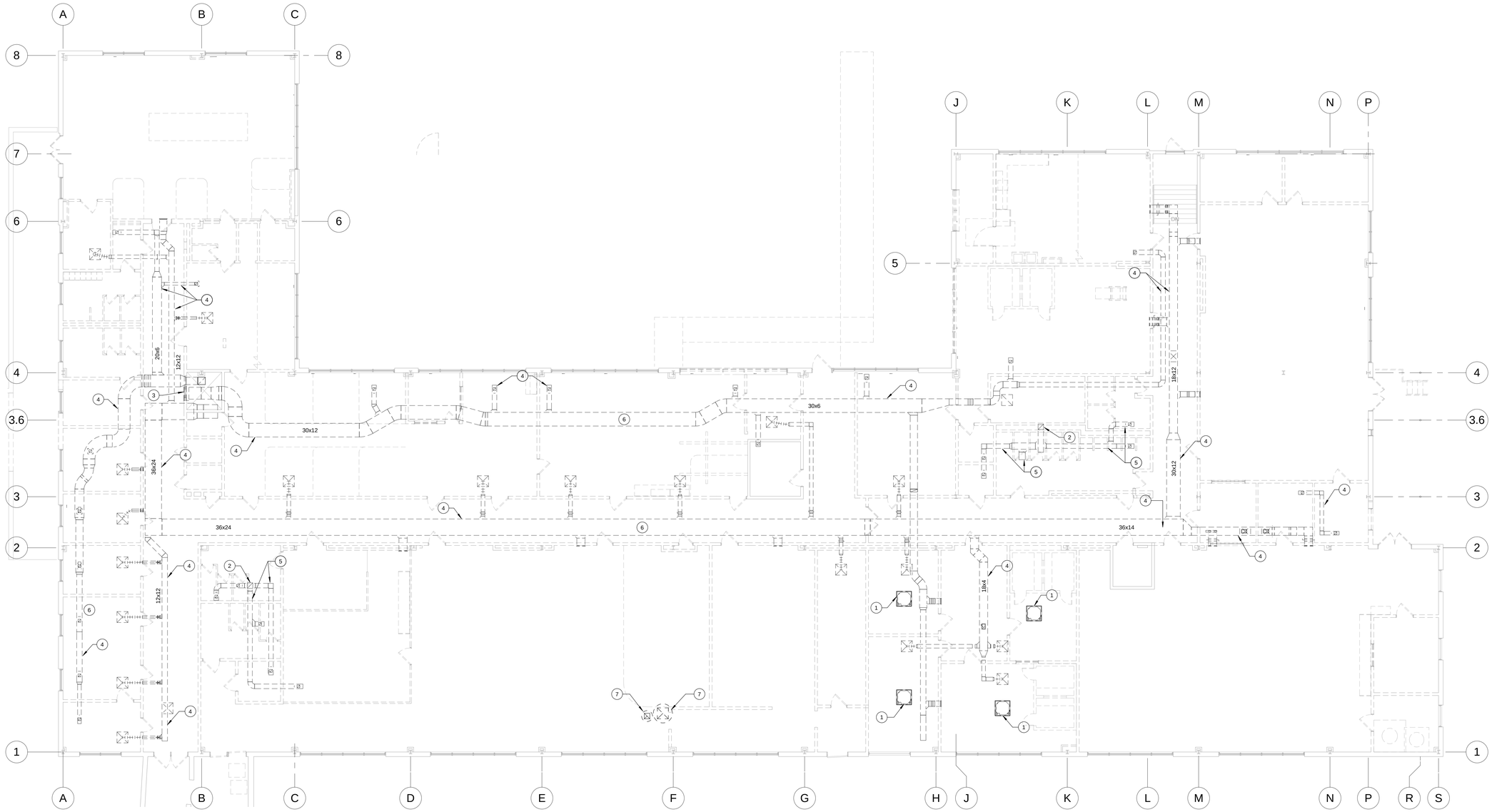
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

GENERAL NOTES

1. SEE ALTERNATE # 9.

KEY	NOTE
1	DEMOLISH EXISTING SPLIT SYSTEM CASSETTE TYPE. REMOVE CONDENSING UNIT ON ROOF AS WELL AND ALL ASSOCIATED REFRIGERANT AND CONDENSATE DRAIN PIPING.
2	EXHAUST DUCT UP TO EXHAUST FAN ON ROOF TO REMAIN.
3	EXISTING RETURN AIR GRILLE IN CORRIDOR TO BE DEMOLISHED.
4	EXISTING DUCTWORK AND ASSOCIATED AIR TERMINALS TO BE DEMOLISHED, TYPICAL.
5	DEMOLISH EXISTING EXHAUST SYSTEM.
6	EXISTING DUCTWORK TO BE DEMOLISHED.
7	DEMOLISH EXISTING DUCT AND EXHAUST FAN ON ROOF. PATCH ROOF AND CEILING.



1 1ST FLOOR HVAC DEMOLITION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Revisions	Date

Drawing Title: 1ST FLOOR MECHANICAL DEMOLITION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MD111

Dwg. 43 of 86

Office of Facilities Management

Department of Veterans Affairs

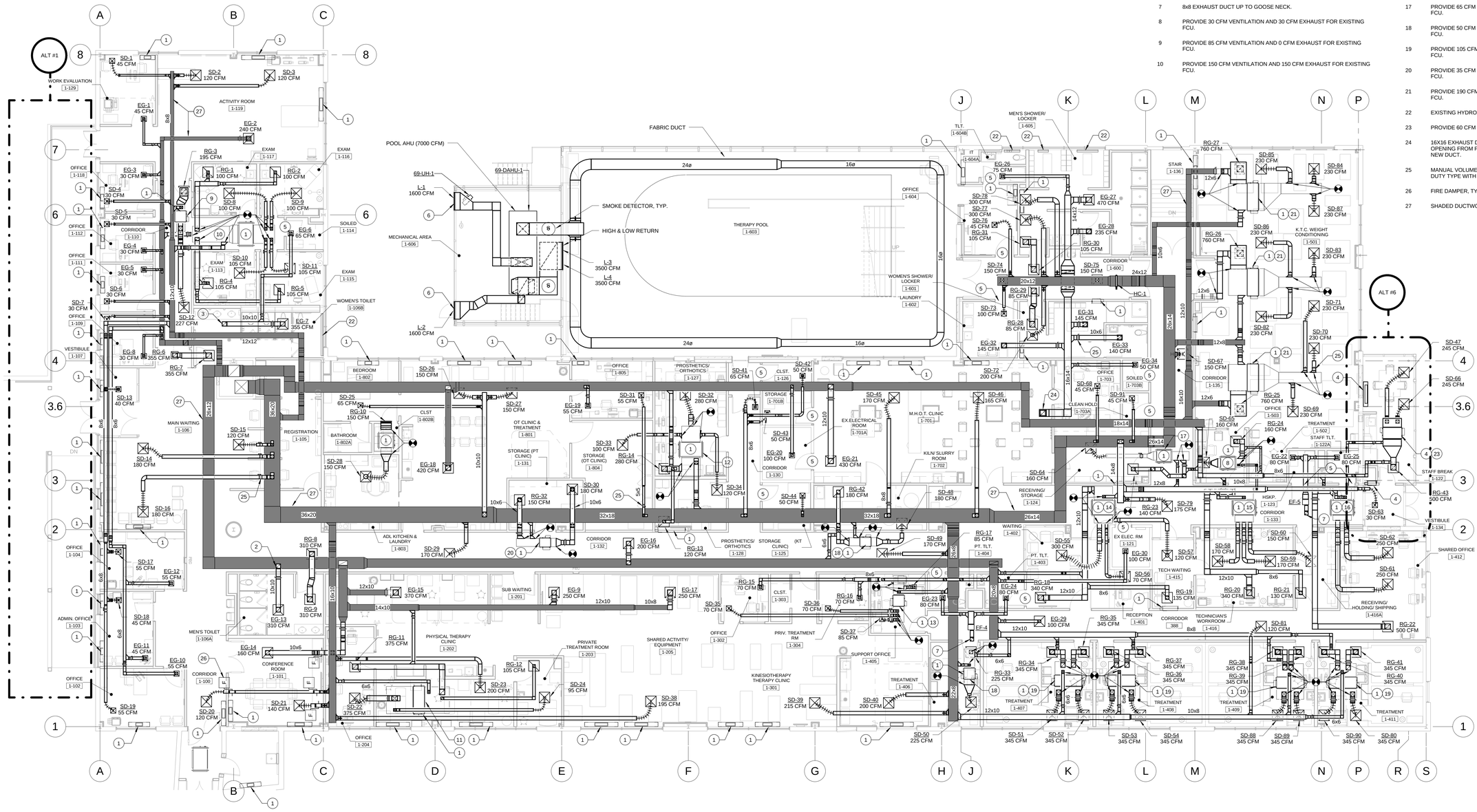
VA FORM 08-6231, OCT 1978

GENERAL NOTES

1. ALL RUNS TO SUPPLY, RETURN, OR EXHAUST AIR TERMINALS SHALL BE THE SAME SIZE AS THE TERMINAL'S NECK SIZE UNLESS NOTED OTHERWISE.
2. SEE 1-MP111 FOR THERMOSTATS LOCATION.

KEY	NOTE
1	EXISTING FAN COIL UNIT.
2	10X10 EXHAUST DUCT UP TO EF-2 ON ROOF. REUSE EXISTING ROOF OPENING FROM PREVIOUS SYSTEM. MODIFY AS NECESSARY TO FIT NEW DUCT.
3	10X10 EXHAUST DUCT UP TO EF-3 ON ROOF.
4	EXISTING FAN COIL UNIT FROM STORAGE. INSTALLED IF ALTERNATE #8 IS ACCEPTED.
5	DOOR UNDERCUT 3/4" FOR AIR TRANSFER INTO THE SPACE.
6	LOUVER TO MATCH ENCLOSURE'S PANEL SIZE. SEE ARCHITECTURAL ELEVATION FOR EXACT LOCATION. VERIFY WITH MECHANICAL ENGINEER IF LOUVER NEEDS TO BE SMALLER THAN SHOWN ON SCHEDULE BEFORE PURCHASING AND INSTALLING.
7	8x8 EXHAUST DUCT UP TO GOOSE NECK.
8	PROVIDE 30 CFM VENTILATION AND 30 CFM EXHAUST FOR EXISTING FCU.
9	PROVIDE 85 CFM VENTILATION AND 0 CFM EXHAUST FOR EXISTING FCU.
10	PROVIDE 150 CFM VENTILATION AND 150 CFM EXHAUST FOR EXISTING FCU.

KEY	NOTE
11	PROVIDE 90 CFM VENTILATION AND 100 CFM EXHAUST FOR EXISTING FCU.
12	PROVIDE 220 CFM VENTILATION AND 120 CFM EXHAUST FOR EXISTING FCU.
13	PROVIDE 85 CFM VENTILATION AND 85 CFM EXHAUST FOR EXISTING FCU.
14	PROVIDE 125 CFM VENTILATION AND 110 CFM EXHAUST FOR EXISTING FCU.
15	PROVIDE 125 CFM VENTILATION AND 105 CFM EXHAUST FOR EXISTING FCU.
16	PROVIDE 100 CFM VENTILATION AND 100 CFM EXHAUST FOR EXISTING FCU.
17	PROVIDE 65 CFM VENTILATION AND 45 CFM EXHAUST FOR EXISTING FCU.
18	PROVIDE 50 CFM VENTILATION AND 50 CFM EXHAUST FOR EXISTING FCU.
19	PROVIDE 105 CFM VENTILATION AND 105 CFM EXHAUST FOR EXISTING FCU.
20	PROVIDE 35 CFM VENTILATION AND 0 CFM EXHAUST FOR EXISTING FCU.
21	PROVIDE 190 CFM VENTILATION AND 260 CFM EXHAUST FOR EXISTING FCU.
22	EXISTING HYDRONIC BASEBOARD.
23	PROVIDE 60 CFM VENTILATION AND 70 CFM EXHAUST FOR 69-FCU-2.
24	16X16 EXHAUST DUCT UP TO EF-1 ON ROOF. REUSE EXISTING ROOF OPENING FROM PREVIOUS SYSTEM. MODIFY AS NECESSARY TO FIT NEW DUCT.
25	MANUAL VOLUME DAMPER (MVD) TYPICAL. DAMPER SHALL BE HEAVY DUTY TYPE WITH LOCKING QUADRANT.
26	FIRE DAMPER, TYPICAL.
27	SHADED DUCTWORK, SEE ALT #9.



1 1st FLOOR HVAC PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

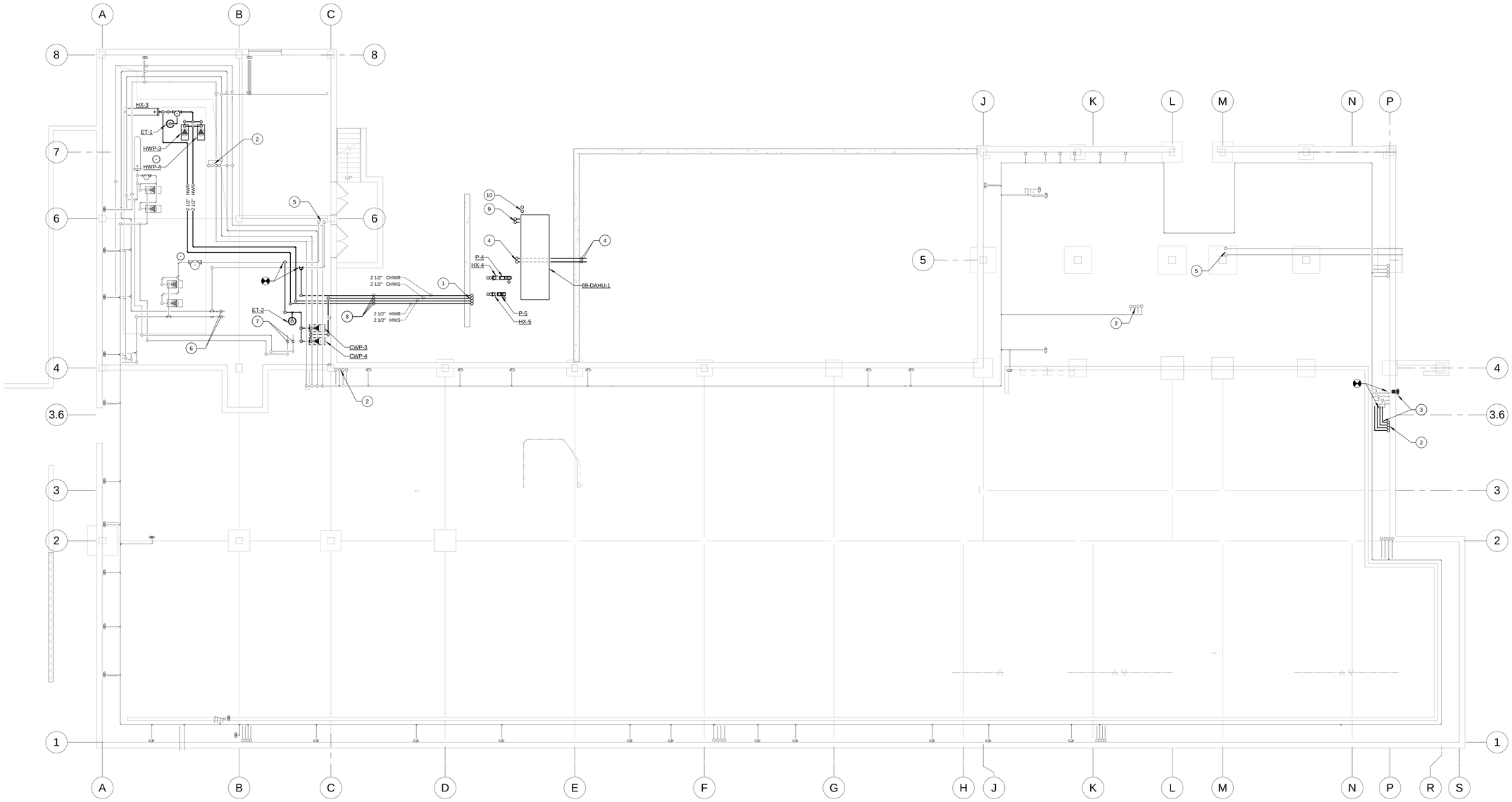
Drawing Title	1ST FLOOR HVAC PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03/29/13
Checked	DJR
Drawn	ORD
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	MH111
Dwg. 44 of 86	

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	2 1/2" CHWS/R AND 2 1/2" HWS/R TO POOL MECHANICAL ROOM. SEE 1-MP111 FOR CONTINUATION.
2	HYDRONIC PIPING UP TO ABOVE CEILING IN 1ST FLOOR.SEE 1-MP111 FOR CONTINUATION.
3	CONNECT TO EXISTING 1" HWS/R AND 1" CHWS/R STUBS.
4	1" HWS/R TO RADIANT FLOOR IN POOL ENCLOSURE.
5	EXISTING 6" CHWS/R TO ABOVE 1ST FLOOR CEILING.
6	EXISTING 2" CHWS/R TO EXISTING AIR HANDLING UNIT IN BASEMENT.
7	EXISTING 3/4" HWS/R TO UNIT HEATER.
8	PIPE IN TRENCH.
9	2 1/2" CHWS/R TO AHU CHILLED WATER COIL (69-CHWC-1).
10	1 1/2" HWS/R TO AHU HOT WATER COIL (69-HC-1).



1 BASEMENT HYDRONIC PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: BASEMENT HYDRONIC PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MP101

Dwg. 45 of 86

Office of Facilities Management

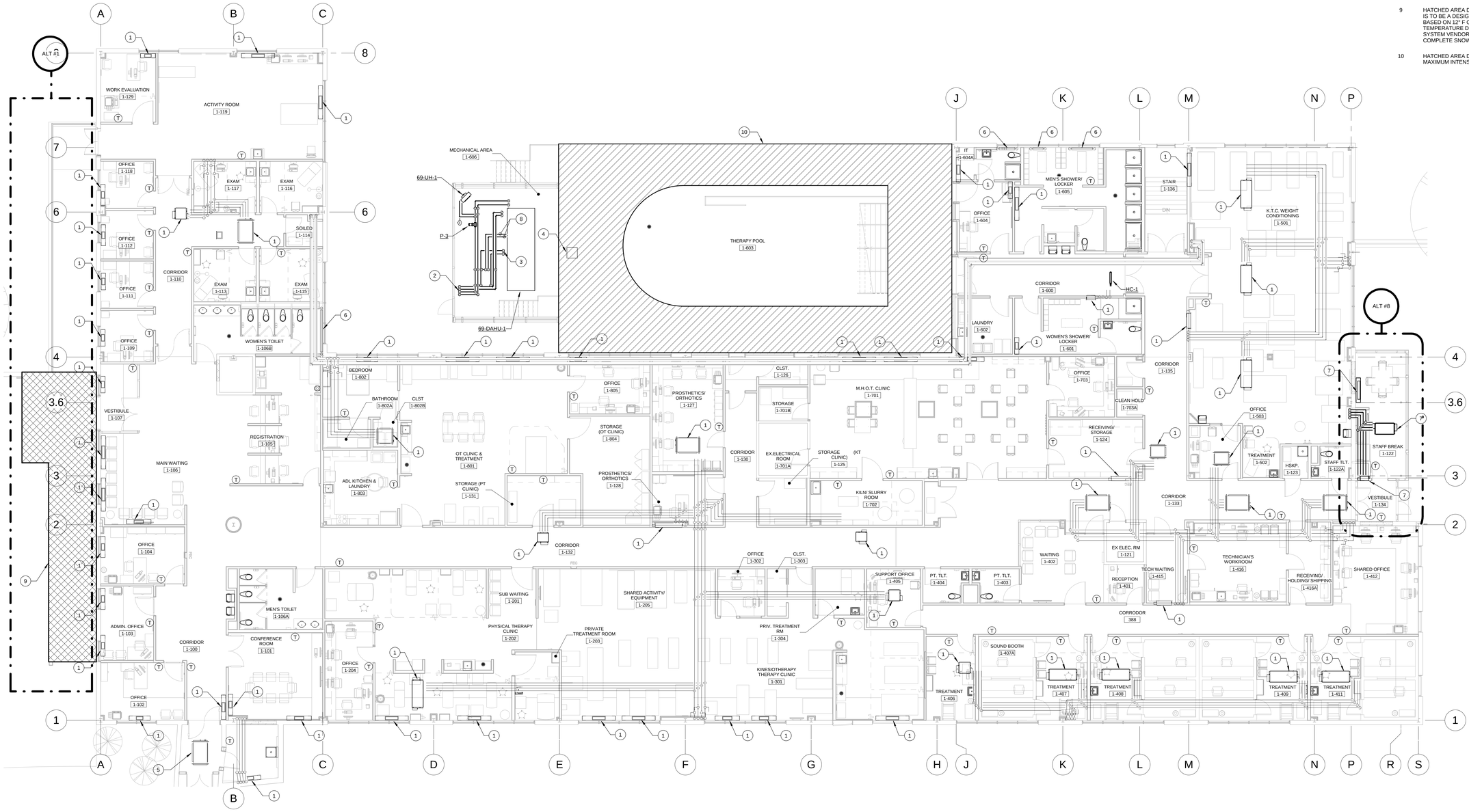
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

GENERAL NOTES

1. ALL EXISTING FAN COIL UNITS SHALL REMAIN BALANCED AS THE PREVIOUS PROJECT UNLESS NOTED OTHERWISE.

KEY	NOTE
1	EXISTING FAN COIL UNIT.
2	2 1/2" CHWS/R AND 2 1/2" HWS/R FROM MAIN MECHANICAL ROOM. SEE 1-MP101 FOR CONTINUATION.
3	1" HWS/R DOWN UNDER SLAB TO RADIANT FLOOR MANIFOLD.
4	FLOOR ACCESS PANEL FOR RADIANT FLOOR MANIFOLD.
5	EXISTING UNIT HEATER SERVING PASSAGE WAY.
6	EXISTING HYDRONIC BASEBOARD.
7	EXISTING FAN COIL UNIT FROM STORAGE. INSTALLED IF ALTERNATE #8 IS ACCEPTED.
8	POOL WATER HEATING SYSTEM.
9	HATCHED AREA DENOTES SNOW MELT SYSTEM. SNOW MELT SYSTEM IS TO BE A DESIGN BUILD SYSTEM. BASIS OF DESIGN SHALL BE BASED ON 12° F OUTSIDE AIR TEMPERATURE, 20° F WATER TEMPERATURE DROP AND 30% PROPYLENE GLYCOL. SNOW MELT SYSTEM VENDOR SHALL BE RESPONSIBLE FOR THE DESIGN OF A COMPLETE SNOW MELT SYSTEM.
10	HATCHED AREA DENOTES IN SLAB RADIANT FLOOR ON POOL DECK. MAXIMUM INTENSITY = 17 BTU/HR * SQ. FT.



1 1st FLOOR HYDRONIC PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR HYDRONIC PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

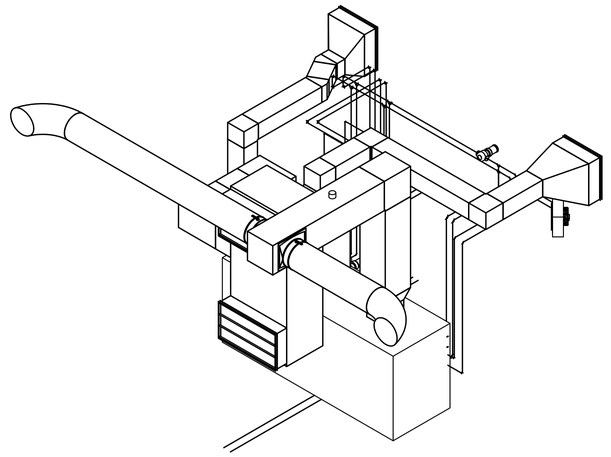
Drawing Number: MP111

Dwg. 46 of 86

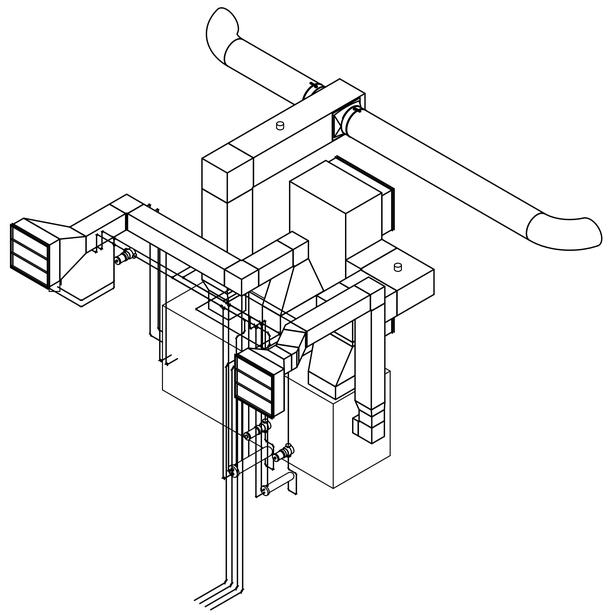
Office of Facilities Management

Department of Veterans Affairs

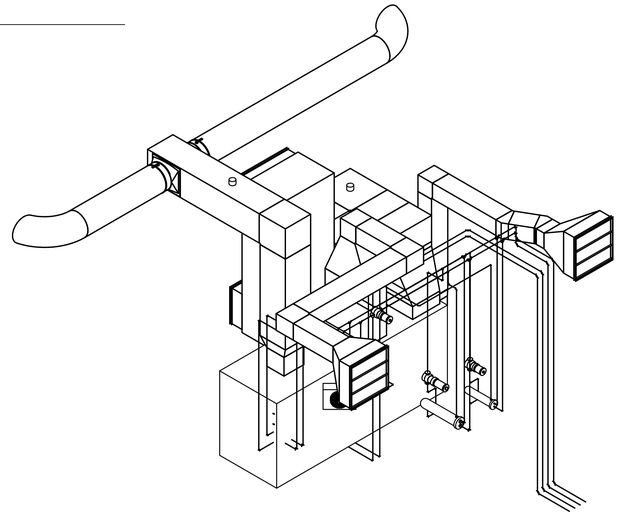
VA FORM 08-6231, OCT 1978



2 MECHANICAL POOL ENCLOSURE NE VIEW



1 MECHANICAL POOL ENCLOSURE SW VIEW



3 MECHANICAL POOL ENCLOSURE NW VIEW

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	

Drawing Title: MECHANICAL POOL ENCLOSURE 3D VIEWS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MH401

Dwg. 47 of 86

Office of Facilities Management

Department of Veterans Affairs

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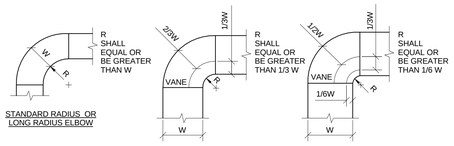
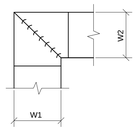


NOTES:

1. THE INTERIOR SURFACE OF ALL RADIUS ELBOWS SHALL BE MADE ROUND.
2. ALL STANDARD ELBOWS CAN BE SUBSTITUTED WITH SHORT RADIUS ELBOWS. ALL SHORT RADIUS ELBOWS SHALL HAVE VANES. VANES SHALL BE CONSTRUCTED , SUPPORTED AND FASTENED AS RECOMMENDED BY SMACNA.

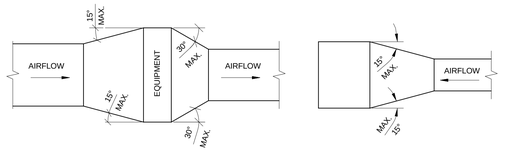
1 DUCTWORK RADIUS ELBOW
N.T.S.



NOTES:

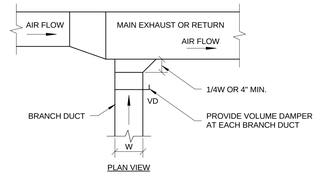
1. ALL VANE ELBOWS SHALL BE CONSTRUCTED AND INSTALLED AS DETAILED BY SMACNA.
2. WHEN W1 DOES NOT EQUAL W2, VANE SHALL BE SINGLE THICKNESS VANE TYPE REGARDLESS OF W DIMENSION.
3. ALL SINGLE THICKNESS VANES SHALL HAVE A 2" RADIUS, 1-1/2" MAXIMUM SPACE BETWEEN VANES AND A 3/4" TRAILING EDGE.
4. WHEN W EQUAL W2 AND W1 IS GREATER THAN 20" VANES SHALL BE DOUBLE VANE TYPE.

2 DUCTWORK SQUARE VANE ELBOWS
N.T.S.

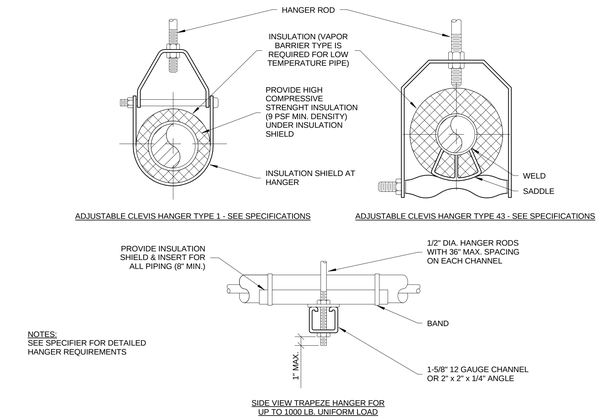


NOTE:
UNLESS OTHERWISE INDICATED ON PLANS, MAXIMUM ANGLES SHOWN SHALL APPLY.

3 DUCTWORK TRANSITIONS (WITH EQUIPMENT MOUNTED IN DUCT)
N.T.S.



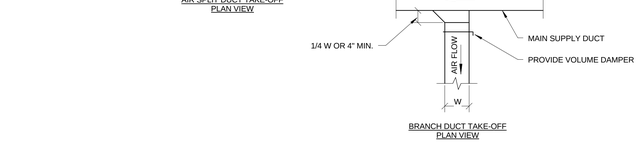
4 EXHAUST OR RETURN BRANCH DUCTWORK
N.T.S.



NOTES:
SEE SPECIFIER FOR DETAILED HANGER REQUIREMENTS

MAXIMUM PIPE/TUBING SUPPORT SPACING																	
NOM. SIZE (IN.)	THRU 3/4	1	1 1/4	1 1/2	2	2 1/2	3	4	5	6	8	10	12	14	16	18	20	24
PIPE (FT.)	7	7	7	9	10	11	12	14	16	17	19	22	23	25	27	28	30	32
TUBING (FT.)	5 FT	6	7	8	8	9	10	12	13	14	16	-	-	-	-	-	-	-
NOTE: FOR TRAPEZE HANGER TAKE SPACING OF SMALLEST SIZE ON TRAPEZE																		

5 PIPE HANGER
N.T.S.

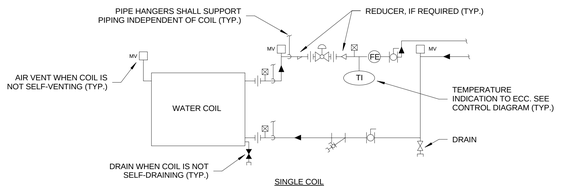


6 SUPPLY DUCT TAKE-OFFS
N.T.S.

NOTES:

1. DELETE INSULATION STAND-OFF ON DUCTWORK WITHOUT EXTERIOR INSULATION.
2. DETAIL SHOWS SINGLE BLADE DAMPER. DAMPER INSTALLATION SHALL BE SIMILAR FOR MULTI-BLADE DAMPERS & ROUND DAMPERS.

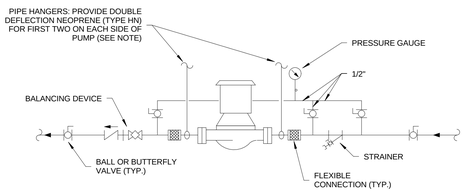
7 VOLUME DAMPER DETAIL
N.T.S.



NOTES:

1. WHEN COIL IS INCLUDED IN CASING MOUNTED ON VIBRATION ISOLATORS THE FIRST TWO HANGERS FOR EACH PIPE SHALL BE SPRING & NEOPRENE TYPE. TYPE "H" 4" DIA. PIPE & SMALLER. TYPE "H-P" FOR 5" DIA. PIPE & LARGER.
2. PIPING SHALL BE INSTALLED IN SUCH A MANNER THAT IT WILL NOT BLOCK THE SWING OR USE OF ACCESS DOORS OR PANELS; NEITHER SHALL IT BLOCK THE SERVICING OF FILTERS, VALVES, OR EQUIPMENT.
3. THE FLOW ELEMENT MAY BE INSTALLED IN THE SUPPLY PIPINGREQUIRED MINIMUM UPSTEAM AND DOWNSTREAM DIMENSIONS CANNOT BE OBTAINED IN THE RETURN PIPING.

8 WATER COILS - PIPING CONNECTIONS
N.T.S.



NOTE:

SUPPORT PUMP FROM PIPING ONLY. DO NOT SUPPORT PUMP FROM MOTOR.

10 INLINE PUMP CONNECTIONS
N.T.S.

NOTES:

1. PROVIDE SADDLE SUPPORTS AND LEGS OR HANGERS FOR HEAT EXCHANGER. MOUNTING HEIGHT TO SHALL BE ADJUSTED TO FACILITATE GRAVITY RETURN OR STEAM CONDENSATE
2. MAKE THE BYPASS THE SAME SIZE AS THE CONNECTIONS TO THE CONTROL VALVES.
3. CONTROL VALVES SHALL BE IN A 1/3 AND 2/3 SIZE ARRANGEMENT.

9 HEAT EXCHANGER - STEAM TO HOT WATER
N.T.S.

FULLY SPRINKLERED

ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	N.T.S.

Drawing Title: MECHANICAL DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MH501

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Department of Veterans Affairs

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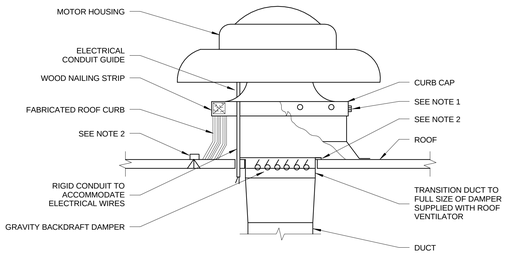
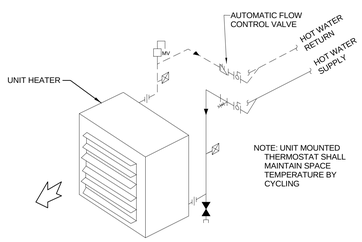


NOTES:

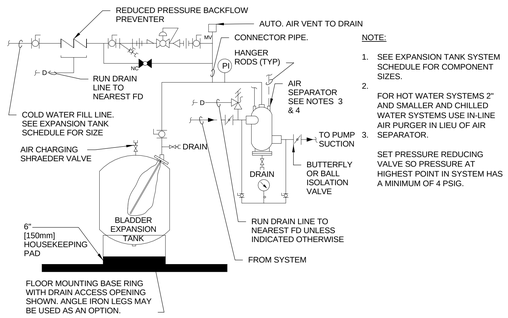
1. SECURE CURB CAP TO WOOD NAILING STRIP WITH 3/8" CADMIUM PLATED LAG BOLTS NOT OVER 12" ON CENTER.
2. SECURE ROOF CURB, DUCTWORK AND DAMPER TO ROOF WITH EXPANSION BOLTS (CONCRETE ROOF) OR RUST RESISTANT BOLTS (METAL DECK AND BAR JOIST ROOF).
3. RUN ELECTRICAL LINES THROUGH CLEARANCE HOLE PROVIDED IN GRAVITY DAMPER, THEN THROUGH VENTILATOR ELECTRICAL CONDUIT GUIDE.

1 POWER TYPE ROOF VENTILATOR
N.T.S.



TYPICAL CONNECTIONS TO HORIZONTAL HOT WATER UNIT HEATER

2 UNIT HEATER (HOT WATER) - PIPING CONNECTIONS
N.T.S.



NOTE:

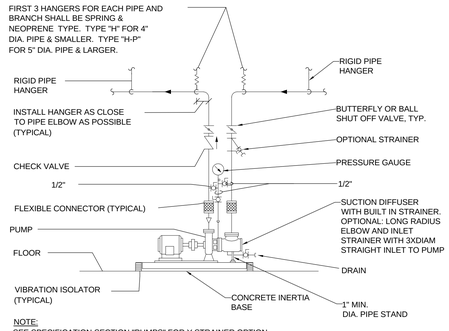
1. SEE EXPANSION TANK SYSTEM SCHEDULE FOR COMPONENT SIZES.
2. FOR HOT WATER SYSTEMS 2" AND SMALLER AND CHILLED WATER SYSTEMS USE IN-LINE AIR PURGER IN LIEU OF AIR SEPARATOR.
3. SET PRESSURE REDUCING VALVE SO PRESSURE AT HIGHEST POINT IN SYSTEM HAS A MINIMUM OF 4 PSIG.

3 FLOOR MOUNTED EXPANSION TANK - PIPING CONNECTIONS
N.T.S.

NOTES:

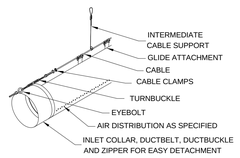
1. FLOOR CONSTRUCTION DETAILS AND MATERIALS ARE SHOWN SCHEMATICALLY. REFER TO ARCHITECTURAL AND STRUCTURAL FLOOR PLANS AND DETAILS FOR EXACT DETAILS AND SPECIFICATIONS.
2. VAPOR BARRIER MUST BE INSTALLED BETWEEN BASE AND RIGID FOAM INSULATION. VAPOR BARRIER SHALL BE MINIMUM 6 MIL. POLY.

4 HYDRONIC HEATING SLAB
N.T.S.



NOTE:
SEE SPECIFICATION SECTION "PUMPS" FOR Y STRAINER OPTION

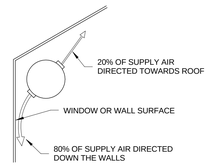
5 SINGLE SUCTION FLOOR MOUNTED PUMPS
N.T.S.



NOTES:

1. 1 ROW CABLE SUSPENSION AT 12 O'CLOCK

6 FABRIC DUCT SUSPENSION DETAIL
N.T.S.



7 FABRIC DUCT AIR DISTRIBUTION
N.T.S.

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: MECHANICAL DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

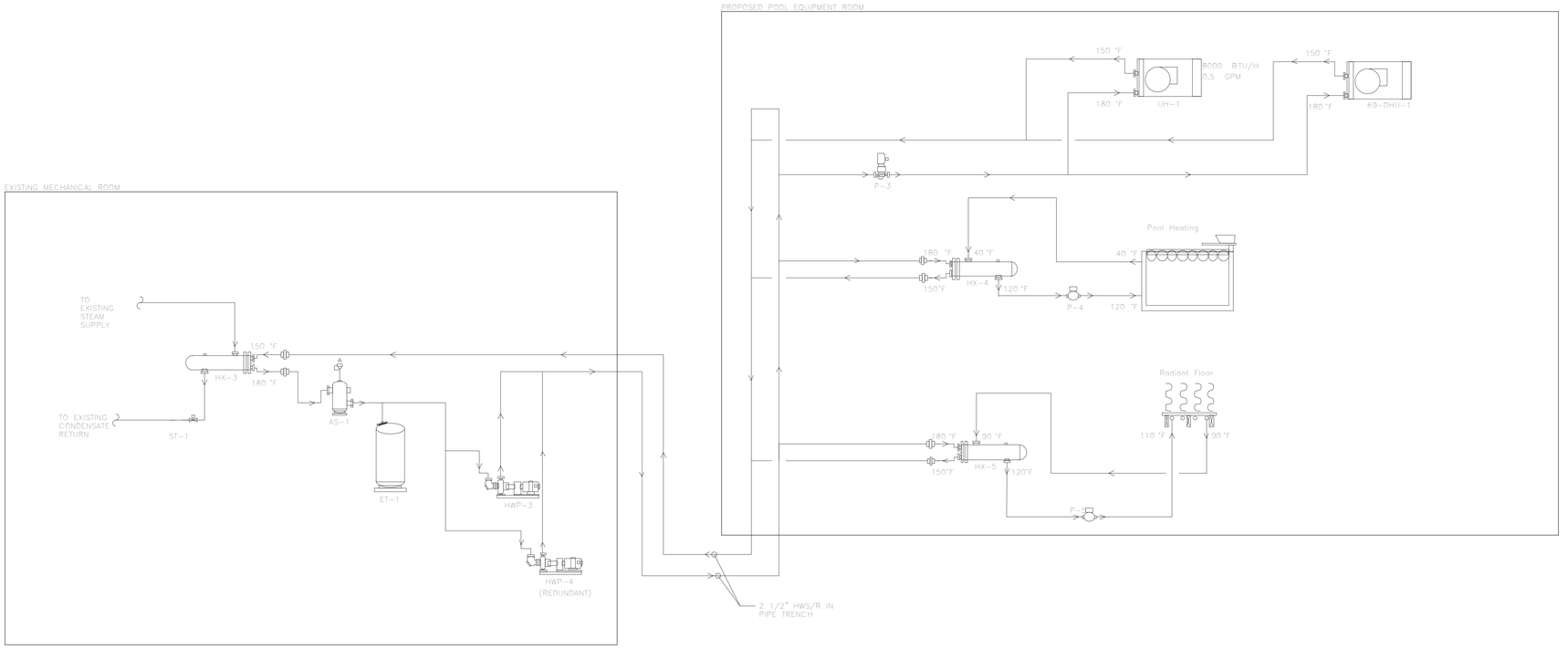
Drawing Number: MH502

Dwg. 49 of 86

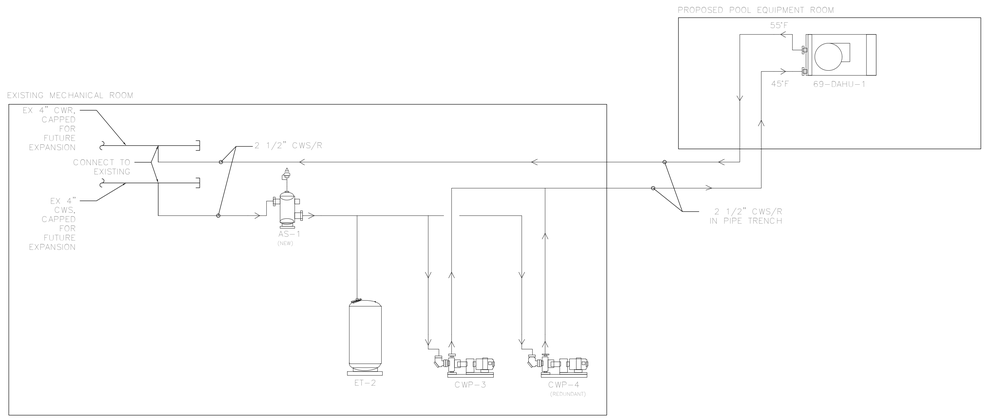
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



1 POOL HOT WATER SCHEMATIC
3/32" = 1'-0"



2 POOL COLD WATER SCHEMATIC
3/32" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	3/32" = 1'-0"

Drawing Title: MECHANICAL DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MH503

Dwg. 50 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

SEQUENCE OF CONTROL:

POOL AIR HANDLING UNIT – MECHANICAL DEHUMIDIFICATION WITH COMBINATION HOT WATER HEATING AND CHILLED WATER COOLING COIL.

THE AHU DDC SYSTEM SHALL HAVE A MINIMUM 7-DAY PROGRAMMABLE SCHEDULE AS DETERMINED BY THE USING AGENCY. THE SYSTEM SHALL OPERATE 24/7. THE SYSTEM SHALL BE CONTROLLED BY A LOCAL DDC PANEL AND REMOTELY MONITORED AND CONTROLLED FROM THE EXISTING CENTRAL BAS. WHEN THE AHU IS SHUT DOWN, THE OA/RELIEF AIR DAMPERS SHALL CLOSE; COOLING AND HEATING VALVES SHALL CLOSE. IF THE UNIT IS SHUTDOWN BY AN ALARM CONDITION, THE SEQUENCE SHALL BE AS INDICATED UNDER THE ALARM CONDITION DESCRIBED BELOW.

THE UNIT SHALL CONTROL SPACE TEMPERATURE AND RELATIVE HUMIDITY, POOL WATER TEMPERATURE AND SHALL PROVIDE VENTILATION. WARM MOIST AIR FROM THE NATATORIUM IS DRAWN OVER THE EVAPORATOR COIL BY THE RETURN FAN AND LATENT AND SENSIBLE HEAT IS REMOVED FROM THE AIR. THE HEAT CAPTURE BY THIS PROCESS AND THE HEAT GENERATED FROM THE COMPRESSOR POWER CONSUMPTION ARE ABSORBED BY A MECHANICAL REFRIGERATION SYSTEM.

THE REFRIGERATION SYSTEM MAY BE ACTIVATED IF ANY OF THE FOLLOWING OCCUR:

1. SPACE TEMPERATURE DROPS BELOW THE SET POINT
2. SPACE RELATIVE HUMIDITY RISES ABOVE SET POINT.
3. SPACE TEMPERATURE RISES ABOVE THE SET POINT.

THE UNIT SHALL MONITOR SPACE AND OUTSIDE AIR TEMPERATURE, SPACE RELATIVE HUMIDITY, POOL WATER TEMPERATURE AND BUILDING SURFACE TEMPERATURE.

THE THERMAL ENERGY ABSORBED BY THE REFRIGERATION SYSTEM IS DISTRIBUTED AS FOLLOWS:

1. FIRST PRIORITY IS GIVEN TO MAINTAIN THE NATATORIUM SPACE TEMPERATURE. NO SUPPLEMENTARY SPACE HEATING SYSTEM EXTERNAL TO THE UNIT IS REQUIRED.
2. WHEN THE POOL WATER SET POINT IS BELOW 88 DEGREES FAHRENHEIT, SECOND PRIORITY IS GIVEN TO MAINTAIN THE POOL WATER TEMPERATURE.

THE CONTROL SYSTEM SHALL PROVIDE MODULATION OF HEAT RECOVERY/HEATING SYSTEM BY PROPORTIONAL CONTROL OF DRY BULB TEMPERATURE, RELATIVE HUMIDITY, COLD-WALL SURFACE CONDENSATION PREVENTION HUMIDITY RESET AND VENTILATION AIR VOLUME.

CONTROL SHALL AUTOMATICALLY OPERATE HEATING, DEHUMIDIFICATION AND HEAT RECOVERY SYSTEM IN RESPONSE TO GREATEST REQUIREMENT AND ADJUST UNIT OUTPUTS TO MAINTAIN BUILDING CONDITIONS. UNIT AND CONTROLS SHALL BE CAPABLE OF PROVIDING PARTIAL HEATING CAPACITY TO EITHER AIR OR WATER. CONTROLS SHALL BE CAPABLE OF PROPORTIONAL CONTROL OF HEATING AND DEHUMIDIFICATION BY LOADING STAGES OF COMPRESSOR CAPACITY AS NECESSARY. AS BUILDING REQUIREMENTS ARE SATISFIED, UNIT SHALL UNLOAD, AND SHUT OFF COMPRESSORS.

UNIT SHALL PROVIDE THE FOLLOWING FUNCTIONS:

VENTILATION MODE:

PROVIDE OUTDOOR VENTILATION AIR TO SATISFY MINIMUM VENTILATION AIR REQUIREMENTS PER VA STANDARDS.

OCCUPIED/UNOCCUPIED CONTROL MODE:

MICROPROCESSOR-BASED, 7 DAY, 24 HOUR OPERATION CONTROLS MANAGE THE OCCUPIED/UNOCCUPIED MODE OPERATION DURING HEATING SEASON. DURING UNOCCUPIED TIMES THE OUTSIDE AIR DAMPERS SHALL BE CLOSED TO MINIMIZE THE AIR-HEATING LOAD.

SPACE HEATING:

FULL PROPORTIONAL CONTROL OF SPACE DRY BUILB TEMPERATURE SHALL BE MAINTAINED BY STAGING COMPRESSOR LOADING OF UNIT CAPACITY, WITH HUMIDITY OVERRIDE. AUTOMATIC MECHANICAL HEAT RECOVERY FROM POOL ROOM RETURN AIR AS REQUIRED BY BUILDING AND WATER TEMPERATURES. AUTOMATIC SWITCHING AND PROPORTIONING OUTPUTS FOR CONTROL OF AUXILIARY AIR HEATING SHALL BE PERFORMED.

POOL WATER HEATING:

IF THE SPACE TEMPERATURE IS AT OR ABOVE SET POINT AND THE POOL WATER TEMPERATURE IS BELOW THE SET POINT; HOT GAS IS DIRECTED TO THE POOL WATER CONDENSER WHEN THE COMPRESSOR IS RUNNING. AT TIMES WHEN THE POOL WATER REQUIRES HEAT, THE UNIT ACTIVATES THE MAIN POOL WATER HEATER. SEE SCHEDULE FOR AMOUNT OF HEAT REJECTION PROVIDED BY THE POOL WATER CONDENSER.

HUMIDITY CONTROL:

FULL PROPORTIONAL CONTROL OF HUMIDITY IS DONE BY STAGING UNIT CAPACITY. THE HUMIDITY CONTROLLER ENERGIZES THE COMPRESSOR AND DIRECTS HOT GAS TO THE AIR REHEAT CONDENSER IF THE SPACE REQUIRES HEATING OR THE POOL WATER CONDENSER IF POOL WATER TEMPERATURE IS BELOW SET POINT.

COOLING WITH INTEGRAL CHILLED WATER COIL:

ON A CALL FOR SPACE COOLING, THE REFRIGERATION SYSTEM IS DE-ENERGIZED. THE CHILLED WATER IS DIRECTED TO THE UNIT-MOUNTED CHILLED-WATER COIL VIA THE UNIT-MOUNTED, 2-WAY, CHILLED-WATER CONTROL VALVE.

CONDENSATION PREVENTION: COLD-WALL TEMPERATURE SENSOR HUMIDITY RESET CONTROL:

WHEN THE TEMPERATURE OF THE INTERIOR SURFACE AT THE WALL SENSOR DROPS TO WITHIN 5 DEGREES OF THE DEWPOINT TEMPERATURE OF THE SPACE AIR, THE RELATIVE HUMIDITY SET POINT IS OFFSET DOWNWARD. THIS CONDITION CAUSES THE DEHUMIDIFIER SYSTEM TO ACTIVATE HUMIDITY CONTROL TO LOWER THE SPACE DEW POINT AND HINDER THE FORMATION OF CONDENSATION ON THE COLD WALL OR GLASS SURFACE.

SAFETIES:

THE ALARMS AND SAFETIES SHALL BE MONITORED AND NOTIFY THE BAS OF ANY ALARM CONDITIONS. A LOW TEMPERATURE DETECTION THERMOSTAT SHALL BE PROVIDED TO DISABLE THE AIR HANDLING UNIT, CLOSE THE CHILLED WATER VALVE, OPEN THE HOT WATER VALVE, CLOSE THE OUTDOOR AND RELIEF AIR DAMPERS AND OPEN THE RETURN AIR DAMPER FULLY. AN ALARM SHALL NOTIFY THE AHU DDC PANEL AND CENTRAL DDC SYSTEM.

A SMOKE DETECTOR SHALL BE PROVIDED IN THE SUPPLY AND RETURN AIR DUCT AND SHALL DE-ENERGIZE THE UNIT AND ALARM THE AHU DDC PANEL AND THE CENTRAL DDC SYSTEM IN THE EVENT OF A SMOKE CONDITION.

HIGH OR LOW STATIC PRESSURE SENSOR SHALL DE-ENERGIZE THE UNIT AND ALARM THE AHU DDC PANEL AND THE CENTRAL DDC SYSTEM IN THE EVENT OF A HIGH OR LOW STATIC PRESSURE CONDITION.

FILTER STATUS SHALL BE MONITORED THROUGH A DIFFERENTIAL PRESSURE SWITCH. UPON DETECTING DIRTY FILTERS, THE AHU DDC PANEL AND THE CENTRAL DDC SYSTEM SHALL BE ALARMED.

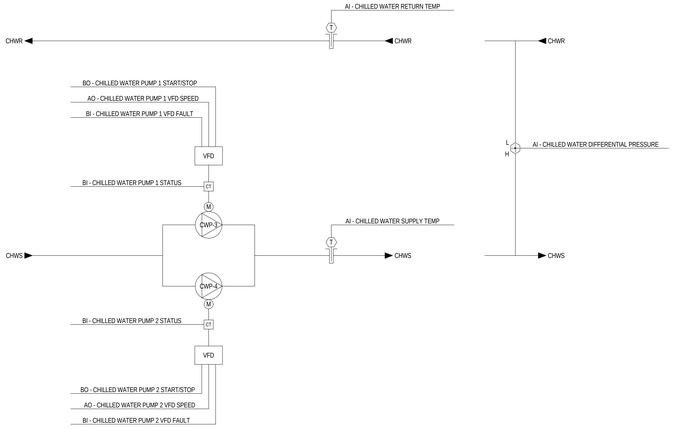
SMOKE CONTROLS:

A SIGNAL FROM THE AHU SMOKE DETECTOR OR FIRE ALARM SYSTEM SHALL SHUT DOWN THE AHU AND ALL RESPECTIVE SMOKE DAMPERS. THE AHU SHALL OPERATE AS SMOKE PURGE SYSTEM. A MANUAL OVERRIDE FUNCTION PROVIDED THROUGH THE DDC SYSTEM SHALL OVERRIDE THE SMOKE DETECTION DISABLE FUNCTION AND ALLOW THE RETURN AIR FAN TO ENERGIZE FULLY. THE RETURN AND OUTDOOR AIR DAMPERS SHALL FULLY CLOSE AND THE RELIEF AIR DAMPER SHALL FULLY OPEN. THE RETURN AIR SMOKE DAMPER(S) SHALL FULLY OPEN.

GRAPHICS AND MONITORING:

BAS FRONT END SYSTEM SHALL INCLUDE GRAPHICS SHOWING ALL HVAC SYSTEMS, ALARMS AND OTHER POINTS SHOWN ON THE DRAWINGS AND INCLUDED IN THE SPECIFICATIONS AND IN ACCORDANCE WITH VA REQUIREMENTS. VFDS SHALL REPORT OPERATIONAL AND ALARM CONDITIONS TO THE BAS.

1 69-DAHU-1 SEQUENCE OF OPERATION
12" = 1'-0"



3 CHILLED WATER LOOP SCHEMATIC AND SEQUENCE OF OPERATION
12" = 1'-0"

1. GENERAL OPERATION
1.1. THE CHILLED WATER PUMPS SHALL BE ENABLED WHENEVER THE POOL ENCLOSURE AIR HANDLING UNIT REQUIRES COOLING. TO PREVENT SHORT CYCLING, THE CHILLED WATER PUMP SYSTEM SHALL RUN FOR AND BE OFF FOR MINIMUM ADJUSTABLE TIMES (BOTH USER DEFINABLE). THE FOLLOWING SETPOINTS ARE RECOMMENDED VALUES. ALL SETPOINTS SHALL BE FIELD ADJUSTED DURING THE COMMISSIONING PERIOD TO MEET THE REQUIREMENTS OF ACTUAL FIELD CONDITIONS.

2. FLOW CONTROL:
2.1. THE TWO VARIABLE SPEED CHILLED WATER PUMPS SHALL OPERATE IN A LEAD/LAG FASHION. THE LEAD PUMP SHALL RUN FIRST. ON FAILURE OF THE LEAD PUMP, THE LAG PUMP SHALL RUN AND THE LEAD PUMP SHALL TURN OFF. ON DECREASING CHILLED WATER DIFFERENTIAL PRESSURE, THE LAG PUMP SHALL STAGE ON AND RUN IN UNISON WITH THE LEAD PUMP TO MAINTAIN CHILLED WATER DIFFERENTIAL PRESSURE SETPOINT.

2.2. THE DESIGNATED LEAD PUMP SHALL ROTATE UPON ONE OF THE FOLLOWING CONDITIONS (USER SELECTABLE):
2.2.1. MANUALLY THROUGH A SOFTWARE SWITCH
2.2.2. IF PUMP RUNTIME (ADJ.) IS EXCEEDED
2.2.3. DAILY
2.2.4. WEEKLY
2.2.5. MONTHLY

2.3. THE CONTROLLER SHALL MEASURE CHILLED WATER DIFFERENTIAL PRESSURE AND MODULATE THE CHILLED WATER PUMP VFDS IN SEQUENCE TO MAINTAIN ITS CHILLED WATER DIFFERENTIAL PRESSURE SETPOINT. THE CONTROLLER SHALL MODULATE CHILLED WATER PUMP SPEEDS TO MAINTAIN A CHILLED WATER DIFFERENTIAL PRESSURE OF 12LBF/IN2 (ADJ.). THE VFDS MINIMUM SPEED SHALL NOT DROP BELOW 20% (ADJ.).

2.4. ON DROPPING CHILLED WATER DIFFERENTIAL PRESSURE, THE VFDS SHALL STAGE ON AND RUN TO MAINTAIN SETPOINT AS FOLLOWS:
2.4.1. THE CONTROLLER SHALL MODULATE THE LEAD VFD TO MAINTAIN SETPOINT.
2.4.2. IF THE LEAD VFD SPEED IS GREATER THAN A SETPOINT OF 90% (ADJ.), THE LAG VFD SHALL STAGE ON.
2.4.3. THE LAG VFD SHALL RAMP UP TO MATCH THE LEAD VFD SPEED AND THEN RUN IN UNISON WITH THE LEAD VFD TO MAINTAIN SETPOINT.

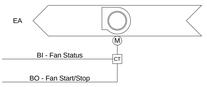
2.5. ON RISING CHILLED WATER DIFFERENTIAL PRESSURE, THE VFDS SHALL STAGE OFF AS FOLLOWS:
2.5.1. IF THE VFDS SPEEDS THEN DROPS BACK TO 60% (ADJ.) BELOW SETPOINT , THE LAG VFD SHALL STAGE OFF.
2.5.2. THE LEAD VFD SHALL CONTINUE TO RUN TO MAINTAIN SETPOINT.
2.5.3.

3. CHILLED WATER TEMPERATURE MONITORING:
3.1. THE FOLLOWING TEMPERATURES SHALL BE MONITORED: CHILLED WATER SUPPLY. CHILLED WATER RETURN. THERE IS NO CHILLED WATER TEMPERATURE CONTROL LOCAL TO THIS BUILDING. THE CHILLED WATER TEMPERATURE IS CONTROLLED BY THE CENTRAL CHILLER PLANT.

4. ALARMS
4.1. CHILLED WATER PUMP 1
4.1.1. FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
4.1.2. RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
4.1.3. RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.
4.1.4. VFD FAULT.

4.2. CHILLED WATER PUMP 2
4.2.1. FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
4.2.2. RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
4.2.3. RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.
4.2.4. VFD FAULT.

4.3. HIGH CHILLED WATER DIFFERENTIAL PRESSURE: IF THE CHILLED WATER DIFFERENTIAL PRESSURE IS 25% (ADJ.) GREATER THAN SETPOINT
4.4. LOW CHILLED WATER DIFFERENTIAL PRESSURE: IF THE CHILLED WATER DIFFERENTIAL PRESSURE IS 25% (ADJ.) LESS THAN SETPOINT.
4.5. HIGH CHILLED WATER SUPPLY TEMP: IF THE CHILLED WATER SUPPLY TEMPERATURE IS GREATER THAN 55°F (ADJ.).
4.6. LOW CHILLED WATER SUPPLY TEMP: IF THE CHILLED WATER SUPPLY TEMPERATURE IS LESS THAN 38°F (ADJ.).



SEQUENCE OF OPERATION:

RUN CONDITIONS - INTERLOCKED:
THE FAN EF-1 SHALL BE INTERLOCKED TO RUN WHENEVER THE BUILDING IS IN OCCUPIED MODE.

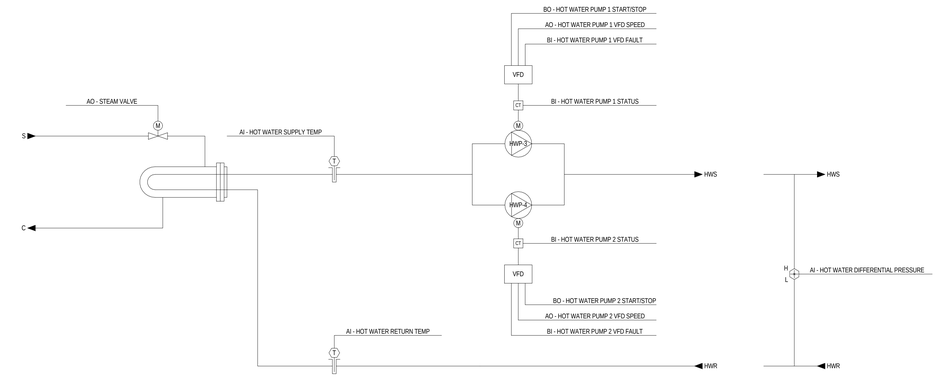
FAN:
THE FAN SHALL HAVE A USER DEFINABLE (ADJ.) MINIMUM RUNTIME.

FAN STATUS:
THE CONTROLLER SHALL MONITOR THE FAN STATUS.

ALARMS SHALL BE PROVIDED AS FOLLOWS:
- FAN FAILURE: COMMANDED ON, BUT THE STATUS IS OFF
- FAN IN HAND: COMMANDED OFF, BUT THE STATUS IS ON
- FAN RUNTIME EXCEEDED: FAN STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT (ADJ.)

	HARDWARE POINTS				SOFTWARE POINTS						SHOW ON GRAPHIC
POINT NAME	AI	AO	BI	BO	AV	BV	LOOP	SCHED	TREND	ALARM	
FAN STATUS			X						X		X
FAN START/STOP				X					X		X
FAN FAILURE										X	
FAN IN HAND										X	
FAN RUNTIME EXCEEDED										X	
TOTALS	0	0	1	1	0	0	0	0	2	3	2
TOTAL HARDWARE (2)					TOTAL SOFTWARE (5)						

2 EXHAUST FAN CONTROLS
N.T.S.



1. GENERAL:
1.1. THE HEAT EXCHANGER SYSTEM SHALL BE ENABLED TO RUN THE POOL AIR HANDLER OR SUPPLEMENTARY WATER HEATER CALL FOR HEAT. TO PREVENT SHORT CYCLING, THE HEAT EXCHANGER SHALL RUN FOR AND BE OFF FOR MINIMUM ADJUSTABLE TIMES (BOTH USER DEFINABLE). THE FOLLOWING SETPOINTS ARE RECOMMENDED VALUES. ALL SETPOINTS SHALL BE FIELD ADJUSTED DURING THE COMMISSIONING PERIOD TO MEET THE REQUIREMENTS OF ACTUAL FIELD CONDITIONS.

2. FLOW CONTROL:
2.1. THE TWO HOT WATER PUMPS SHALL OPERATE IN A LEAD/LAG FASHION. THE LEAD PUMP SHALL RUN FIRST. ON FAILURE OF THE LEAD PUMP, THE LAG PUMP SHALL RUN AND THE LEAD PUMP SHALL TURN OFF. ON DECREASING HOT WATER DIFFERENTIAL PRESSURE, THE LAG PUMP SHALL STAGE ON AND RUN IN UNISON WITH THE LEAD PUMP TO MAINTAIN HOT WATER DIFFERENTIAL PRESSURE SETPOINT.

2.2. THE DESIGNATED LEAD PUMP SHALL ROTATE UPON ONE OF THE FOLLOWING CONDITIONS (USER SELECTABLE): MANUALLY THROUGH A SOFTWARE SWITCH IF PUMP RUNTIME (ADJ.) IS EXCEEDED DAILY WEEKLY MONTHLY. THE CONTROLLER SHALL MEASURE HOT WATER DIFFERENTIAL PRESSURE AND MODULATE THE HOT WATER PUMP VFDS IN SEQUENCE TO MAINTAIN ITS HOT WATER DIFFERENTIAL PRESSURE SETPOINT. CONTROLLER SHALL MODULATE HOT WATER PUMP SPEEDS TO MAINTAIN A HOT WATER DIFFERENTIAL PRESSURE OF 12LBF/IN2 (ADJ.). THE VFDS MINIMUM SPEED SHALL NOT DROP BELOW 20% (ADJ.).

2.3. ON DROPPING HOT WATER DIFFERENTIAL PRESSURE, THE VFDS SHALL STAGE ON AND RUN TO MAINTAIN SETPOINT AS FOLLOWS: THE CONTROLLER SHALL MODULATE THE LEAD VFD TO MAINTAIN SETPOINT. IF THE LEAD VFD SPEED IS GREATER THAN A SETPOINT OF 90% (ADJ.), THE LAG VFD SHALL STAGE ON. THE LAG VFD SHALL RAMP UP TO MATCH THE LEAD VFD SPEED AND THEN RUN IN UNISON WITH THE LEAD VFD TO MAINTAIN SETPOINT.

2.4. ON RISING HOT WATER DIFFERENTIAL PRESSURE, THE VFDS SHALL STAGE OFF AS FOLLOWS: IF THE VFDS SPEEDS DROPS BACK TO 60% (ADJ.) BELOW SETPOINT, THE LAG VFD SHALL STAGE OFF. THE LEAD VFD SHALL CONTINUE TO RUN TO MAINTAIN SETPOINT.

3. TEMPERATURE CONTROL:
3.1. THE HOT WATER SUPPLY TEMPERATURE SETPOINT SHALL RESET BASED ON OUTSIDE AIR TEMPERATURE. AS OUTSIDE AIR TEMPERATURE RISES FROM 0°F (ADJ.) TO 70°F (ADJ.) THE HOT WATER SUPPLY TEMPERATURE SETPOINT SHALL RESET DOWNWARDS FROM 180°F (ADJ.) TO 150°F (ADJ.). THE CONTROLLER SHALL MEASURE THE HOT WATER SUPPLY TEMPERATURE AND MODULATE THE STEAM VALVE TO MAINTAIN ITS SETPOINT.

3.2. THE STEAM VALVE SHALL CLOSE WHENEVER THE HOT WATER SUPPLY TEMPERATURE RISES FROM 180°F TO 200°F (ADJ.).

4. ALARMS:
4.1. HOT WATER PUMP 1
4.1.1. FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
4.1.2. RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
4.1.3. RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.
4.1.4. VFD FAULT.
4.2. HOT WATER PUMP 2
4.2.1. FAILURE: COMMANDED ON, BUT THE STATUS IS OFF.
4.2.2. RUNNING IN HAND: COMMANDED OFF, BUT THE STATUS IS ON.
4.2.3. RUNTIME EXCEEDED: STATUS RUNTIME EXCEEDS A USER DEFINABLE LIMIT.
4.2.4. VFD FAULT.
4.3. HIGH HOT WATER DIFFERENTIAL PRESSURE: IF 25% (ADJ.) GREATER THAN SETPOINT.
4.4. LOW HOT WATER DIFFERENTIAL PRESSURE: IF 25% (ADJ.) LESS THAN SETPOINT.
4.5. HIGH HOT WATER SUPPLY TEMP: IF GREATER THAN 200°F (ADJ.).
4.6. LOW HOT WATER SUPPLY TEMP: IF LESS THAN 140°F (ADJ.).

4 STEAM CONVERTER CONTROL DIAGRAM AND SEQUENCE OF OPERATION
N.T.S.

FULLY SPRINKLERED
ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	N.T.S.

Drawing Title: TEMPERATURE CONTROL SCHEMATIC

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MH504

Dwg. 51 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

AIR DEVICE SCHEDULE (SUPPLY)

MARK	TYPE	AIRFLOW MIN	AIRFLOW MAX	MAX APD	MOUNTING	PANEL/FRAME SIZE	NECK/DUCT CONNECTION SIZE	NC	DAMPER	FINISH	REMARKS
SD-1	SQUARE CONE DIFFUSER	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-2	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-3	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-4	SQUARE CONE DIFFUSER	30 CFM	30 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-5	SQUARE CONE DIFFUSER	30 CFM	30 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-6	SQUARE CONE DIFFUSER	30 CFM	30 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-7	SQUARE CONE DIFFUSER	30 CFM	30 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-8	SQUARE CONE DIFFUSER	100 CFM	100 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-9	SQUARE CONE DIFFUSER	100 CFM	100 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-10	SQUARE CONE DIFFUSER	105 CFM	105 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-11	SQUARE CONE DIFFUSER	105 CFM	105 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-12	SQUARE CONE DIFFUSER	227 CFM	227 CFM	0.03 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-13	SQUARE CONE DIFFUSER	40 CFM	40 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-14	SQUARE CONE DIFFUSER	180 CFM	180 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-15	SQUARE CONE DIFFUSER	100 CFM	120 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-16	SQUARE CONE DIFFUSER	180 CFM	180 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-17	SQUARE CONE DIFFUSER	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-18	SQUARE CONE DIFFUSER	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-19	SQUARE CONE DIFFUSER	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-20	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-21	SQUARE CONE DIFFUSER	140 CFM	140 CFM	0.02 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-22	SQUARE CONE DIFFUSER	375 CFM	375 CFM	0.04 in-wg	CEILING	24x24	12" Ø	---	NO	WHITE	
SD-23	SQUARE CONE DIFFUSER	200 CFM	200 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
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SD-25	SQUARE CONE DIFFUSER	50 CFM	65 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-26	SQUARE CONE DIFFUSER	150 CFM	150 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-27	SQUARE CONE DIFFUSER	150 CFM	150 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
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SD-29	SQUARE CONE DIFFUSER	170 CFM	170 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-30	SQUARE CONE DIFFUSER	160 CFM	180 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-31	SQUARE CONE DIFFUSER	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-32	SQUARE CONE DIFFUSER	280 CFM	280 CFM	0.03 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-33	SQUARE CONE DIFFUSER	100 CFM	100 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-34	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.04 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-35	SQUARE CONE DIFFUSER	70 CFM	70 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-36	SQUARE CONE DIFFUSER	80 CFM	70 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-37	SQUARE CONE DIFFUSER	85 CFM	85 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-38	SQUARE CONE DIFFUSER	195 CFM	195 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-39	SQUARE CONE DIFFUSER	215 CFM	215 CFM	0.05 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-40	SQUARE CONE DIFFUSER	200 CFM	200 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-41	SQUARE CONE DIFFUSER	65 CFM	65 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-42	SQUARE CONE DIFFUSER	50 CFM	50 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-43	SQUARE CONE DIFFUSER	50 CFM	50 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-44	SQUARE CONE DIFFUSER	50 CFM	50 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-45	SQUARE CONE DIFFUSER	170 CFM	170 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-46	SQUARE CONE DIFFUSER	165 CFM	165 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-47	SQUARE CONE DIFFUSER	250 CFM	245 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-48	SQUARE CONE DIFFUSER	160 CFM	180 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-49	SQUARE CONE DIFFUSER	170 CFM	170 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
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SD-52	SQUARE CONE DIFFUSER	105 CFM	345 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
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SD-55	SQUARE CONE DIFFUSER	300 CFM	300 CFM	0.05 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-56	SQUARE CONE DIFFUSER	70 CFM	70 CFM	0.02 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-57	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.04 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-58	SQUARE CONE DIFFUSER	170 CFM	170 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-59	SQUARE CONE DIFFUSER	170 CFM	170 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-60	SQUARE CONE DIFFUSER	150 CFM	150 CFM	0.02 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-61	SQUARE CONE DIFFUSER	250 CFM	250 CFM	0.03 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-62	SQUARE CONE DIFFUSER	250 CFM	250 CFM	0.03 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
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SD-65	SQUARE CONE DIFFUSER	160 CFM	160 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-66	SQUARE CONE DIFFUSER	250 CFM	245 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-67	SQUARE CONE DIFFUSER	150 CFM	150 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-68	SQUARE CONE DIFFUSER	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-69	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-70	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-71	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-72	SQUARE CONE DIFFUSER	245 CFM	200 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-73	SQUARE CONE DIFFUSER	100 CFM	100 CFM	0.03 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-74	SQUARE CONE DIFFUSER	200 CFM	150 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-75	SQUARE CONE DIFFUSER	200 CFM	150 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-76	SQUARE CONE DIFFUSER	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	
SD-77	SQUARE CONE DIFFUSER	300 CFM	300 CFM	0.05 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-78	SQUARE CONE DIFFUSER	300 CFM	300 CFM	0.05 in-wg	CEILING	24x24	10" Ø	---	NO	WHITE	
SD-79	SQUARE CONE DIFFUSER	175 CFM	175 CFM	0.03 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-80	SQUARE CONE DIFFUSER	105 CFM	345 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-81	SQUARE CONE DIFFUSER	120 CFM	120 CFM	0.04 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-82	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-83	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-84	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-85	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-86	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-87	SQUARE CONE DIFFUSER	185 CFM	230 CFM	0.04 in-wg	CEILING	24x24	8" Ø	---	NO	WHITE	
SD-88	SQUARE CONE DIFFUSER	105 CFM	345 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-89	SQUARE CONE DIFFUSER	105 CFM	345 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-90	SQUARE CONE DIFFUSER	105 CFM	345 CFM	0.03 in-wg	CEILING	24x24	6" Ø	---	NO	WHITE	
SD-91	SQUARE CONE DIFFUSER	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6" Ø	---	NO	WHITE	

AIR DEVICE SCHEDULE (EXHAUST)

MARK	TYPE	AIRFLOW MIN	AIRFLOW MAX	MAX APD	MOUNTING	PANEL/FRAME SIZE	NECK SIZE	NC	DAMPER	FINISH	REMARKS
EG-1	PERFORATED FACE	45 CFM	45 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-2	PERFORATED FACE	240 CFM	240 CFM	0.02 in-wg	CEILING	24x24	12x12	---	NO	WHITE	
EG-3	PERFORATED FACE	30 CFM	30 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-4	PERFORATED FACE	30 CFM	30 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-5	PERFORATED FACE	30 CFM	30 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-6	PERFORATED FACE	65 CFM	65 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-7	PERFORATED FACE	355 CFM	355 CFM	0.04 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-8	PERFORATED FACE	30 CFM	30 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-9	PERFORATED FACE	250 CFM	250 CFM	0.03 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-10	PERFORATED FACE	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-11	PERFORATED FACE	45 CFM	45 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-12	PERFORATED FACE	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-13	PERFORATED FACE	310 CFM	310 CFM	0.04 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-14	PERFORATED FACE	160 CFM	160 CFM	0.02 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-15	PERFORATED FACE	370 CFM	370 CFM	0.06 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-16	PERFORATED FACE	200 CFM	200 CFM	0.02 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-17	PERFORATED FACE	250 CFM	250 CFM	0.03 in-wg	CEILING	24x24	10x10	---	NO	WHITE	
EG-18	PERFORATED FACE	420 CFM	420 CFM	0.04 in-wg	CEILING	24x24	12x12	---	NO	WHITE	
EG-19	PERFORATED FACE	55 CFM	55 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-20	PERFORATED FACE	100 CFM	100 CFM	0.03 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-21	PERFORATED FACE	430 CFM	430 CFM	0.04 in-wg	CEILING	24x24	12x12	---	NO	WHITE	
EG-22	PERFORATED FACE	80 CFM	80 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-23	PERFORATED FACE	80 CFM	80 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-24	PERFORATED FACE	80 CFM	80 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-25	PERFORATED FACE	80 CFM	80 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-26	PERFORATED FACE	75 CFM	75 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-27	PERFORATED FACE	470 CFM	470 CFM	0.04 in-wg	CEILING	24x24	12x12	---	NO	WHITE	
EG-28	PERFORATED FACE	235 CFM	235 CFM	0.03 in-wg	CEILING	12x12	10x10	---	NO	WHITE	
EG-29	PERFORATED FACE	100 CFM	100 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	
EG-30	PERFORATED FACE	100 CFM	100 CFM	0.02 in-wg	CEILING	12x12	6x6	---	NO	WHITE	
EG-31	PERFORATED FACE	145 CFM	145 CFM	0.03 in-wg	CEILING	12x12	10x10	---	NO	WHITE	
EG-32	PERFORATED FACE	145 CFM	145 CFM	0.03 in-wg	CEILING	12x12	10x10	---	NO	WHITE	
EG-33	PERFORATED FACE	140 CFM	140 CFM	0.03 in-wg	CEILING	12x12	10x10	---	NO	WHITE	
EG-34	PERFORATED FACE	50 CFM	50 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	

AIR DEVICE SCHEDULE (RETURN)

MARK	TYPE	AIRFLOW MIN	AIRFLOW MAX	MAX APD	MOUNTING	PANEL/FRAME SIZE	NECK SIZE	NC	DAMPER	FINISH	REMARKS
RG-1	PERFORATED FACE	100 CFM	100 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-2	PERFORATED FACE	100 CFM	100 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-3	PERFORATED FACE	155 CFM	195 CFM	0.01 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-4	PERFORATED FACE	105 CFM	105 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-5	PERFORATED FACE	105 CFM	105 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-6	PERFORATED FACE	355 CFM	355 CFM	0.03 in-wg	CEILING	16x16	10x10	---	NO	WHITE	TRANSFER AIR GRILLE
RG-7	PERFORATED FACE	355 CFM	355 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-8	PERFORATED FACE	310 CFM	310 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-9	PERFORATED FACE	310 CFM	310 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-10	LOUVERED FACE RETURN	150 CFM	150 CFM	0.02 in-wg	WALL	24x10	24x10	---	YES	WHITE	WALL MOUNTED RETURN
RG-11	PERFORATED FACE	375 CFM	375 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-12	PERFORATED FACE	105 CFM	105 CFM	0.03 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-13	PERFORATED FACE	120 CFM	120 CFM	0.04 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-14	PERFORATED FACE	280 CFM	280 CFM	0.01 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-15	PERFORATED FACE	70 CFM	70 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	CEILING RETURN
RG-16	PERFORATED FACE	70 CFM	70 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	CEILING RETURN
RG-17	PERFORATED FACE	85 CFM	85 CFM	0.01 in-wg	CEILING	12x12	6x6	---	NO	WHITE	CEILING RETURN
RG-18	PERFORATED FACE	340 CFM	340 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-19	PERFORATED FACE	135 CFM	135 CFM	0.02 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN
RG-20	PERFORATED FACE	340 CFM	340 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-21	PERFORATED FACE	130 CFM	130 CFM	0.02 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN
RG-22	PERFORATED FACE	500 CFM	500 CFM	0.04 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-23	PERFORATED FACE	140 CFM	140 CFM	0.03 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN
RG-24	PERFORATED FACE	190 CFM	160 CFM	0.04 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN
RG-25	PERFORATED FACE	760 CFM	760 CFM	0.06 in-wg	CEILING	24x24	14x14	---	NO	WHITE	CEILING RETURN
RG-26	PERFORATED FACE	760 CFM	760 CFM	0.06 in-wg	CEILING	24x24	14x14	---	NO	WHITE	CEILING RETURN
RG-27	PERFORATED FACE	760 CFM	760 CFM	0.06 in-wg	CEILING	24x24	14x14	---	NO	WHITE	CEILING RETURN
RG-28	PERFORATED FACE	40 CFM	85 CFM	0.02 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-29	PERFORATED FACE	40 CFM	85 CFM	0.02 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-30	PERFORATED FACE	180 CFM	105 CFM	0.02 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-31	PERFORATED FACE	180 CFM	105 CFM	0.02 in-wg	CEILING	24x24	12x12	---	NO	WHITE	TRANSFER AIR GRILLE
RG-32	PERFORATED FACE	120 CFM	150 CFM	0.04 in-wg	CEILING	24x24	6x6	---	NO	WHITE	CEILING RETURN
RG-33	PERFORATED FACE	340 CFM	225 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-34	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-35	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-36	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-37	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-38	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-39	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-40	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-41	PERFORATED FACE	340 CFM	345 CFM	0.03 in-wg	CEILING	24x24	12x12	---	NO	WHITE	CEILING RETURN
RG-42	PERFORATED FACE	120 CFM	180 CFM	0.04 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN
RG-43	PERFORATED FACE	190 CFM	500 CFM	0.04 in-wg	CEILING	24x24	8x8	---	NO	WHITE	CEILING RETURN

FULLY SPRINKLERED

ISSUED FOR BID

Revisions | Date

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Scale:

Drawing Title: MECHANICAL SCHEDULES

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03/29/13 | Checked: DJR | Drawn: ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: MH601

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Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

ROOM AIR BALANCE SCHEDULE

ROOM NO.	ROOM NAME	AIR HANDLING UNIT	INDIVIDUAL TEMP CONTROL	SUPPLY		RETURN		EXHAUST		ROOM AIR FLOW		ROOM AIR BALANCE	NET INFILTRATION	NET EXFILTRATION
				AIRFLOW	AIR DEVICE MARK	AIRFLOW	AIR DEVICE MARK	AIRFLOW	AIR DEVICE MARK	CV	VAV			
1-100	CORRIDOR		Yes	120 CFM	SD-20	0 CFM		0 CFM		YES	---	(+)	0 CFM	120 CFM
1-101	CONFERENCE ROOM		Yes	140 CFM	SD-21	0 CFM		160 CFM	EG-14	YES	---	(-)	20 CFM	0 CFM
1-102	OFFICE		Yes	55 CFM	SD-19	0 CFM		55 CFM	EG-10	YES	---	(0)	0 CFM	0 CFM
1-103	ADMIN. OFFICE		Yes	45 CFM	SD-18	0 CFM		45 CFM	EG-11	YES	---	(0)	0 CFM	0 CFM
1-104	OFFICE		Yes	55 CFM	SD-17	0 CFM		55 CFM	EG-12	YES	---	(0)	0 CFM	0 CFM
1-105	REGISTRATION		Yes	120 CFM	SD-15	0 CFM		0 CFM		YES	---	(-)	0 CFM	120 CFM
1-106	MAIN WAITING		No	360 CFM	SD-14, SD-16	665 CFM	RG-6, RG-8	0 CFM		YES	---	(-)	305 CFM	0 CFM
1-106A	MEN'S TOILET		No	0 CFM		310 CFM	RG-9	310 CFM	EG-13	YES	---	(-)	310 CFM	0 CFM
1-106B	WOMEN'S TOILET		No	0 CFM		355 CFM	RG-7	355 CFM	EG-7	YES	---	(-)	355 CFM	0 CFM
1-107	VESTIBULE		Yes	40 CFM	SD-13	0 CFM		0 CFM		YES	---	(+)	0 CFM	40 CFM
1-109	OFFICE		Yes	30 CFM	SD-7	0 CFM		30 CFM	EG-8	YES	---	(0)	0 CFM	0 CFM
1-110	CORRIDOR		Yes	227 CFM	SD-12	195 CFM	RG-3	0 CFM		YES	---	(+)	0 CFM	32 CFM
1-111	OFFICE		Yes	30 CFM	SD-6	0 CFM		30 CFM	EG-5	YES	---	(0)	0 CFM	0 CFM
1-112	OFFICE		Yes	30 CFM	SD-5	0 CFM		30 CFM	EG-4	YES	---	(0)	0 CFM	0 CFM
1-113	EXAM		No	105 CFM	SD-10	105 CFM	RG-4	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-114	SOILED		No	0 CFM		0 CFM		65 CFM	EG-6	YES	---	(-)	65 CFM	0 CFM
1-115	EXAM		Yes	105 CFM	SD-11	105 CFM	RG-5	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-116	EXAM		No	100 CFM	SD-9	100 CFM	RG-2	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-117	EXAM		No	100 CFM	SD-8	100 CFM	RG-1	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-118	OFFICE		Yes	30 CFM	SD-4	0 CFM		30 CFM	EG-3	YES	---	(0)	0 CFM	0 CFM
1-119	ACTIVITY ROOM		Yes	240 CFM	SD-2, SD-3	0 CFM		240 CFM	EG-2	YES	---	(0)	0 CFM	0 CFM
1-121	EX ELEC. RM		No	0 CFM		0 CFM		100 CFM	EG-30	YES	---	(-)	100 CFM	0 CFM
1-122	STAFF BREAK		Yes	490 CFM	SD-47, SD-66	500 CFM	RG-43	0 CFM		YES	---	(-)	10 CFM	0 CFM
1-122A	STAFF TLT.		No	0 CFM		0 CFM		80 CFM	EG-39	YES	---	(-)	80 CFM	0 CFM
1-123	HSKP.		No	0 CFM		0 CFM		80 CFM	EG-22	YES	---	(-)	80 CFM	0 CFM
1-124	RECEIVING/ STORAGE		No	160 CFM	SD-64	140 CFM	RG-23	0 CFM		YES	---	(+)	0 CFM	20 CFM
1-125	STORAGE (KT CLINIC)		No	50 CFM	SD-44	0 CFM		0 CFM		YES	---	(+)	0 CFM	50 CFM
1-126	CLST.		No	50 CFM	SD-42	0 CFM		0 CFM		YES	---	(+)	0 CFM	50 CFM
1-127	PROSTHETICS/ ORTHOTICS		Yes	280 CFM	SD-32	280 CFM	RG-14	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-128	PROSTHETICS/ ORTHOTICS		No	120 CFM	SD-34	120 CFM	RG-13	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-129	WORK EVALUATION		Yes	45 CFM	SD-1	0 CFM		45 CFM	EG-1	YES	---	(0)	0 CFM	0 CFM
1-130	CORRIDOR		No	65 CFM	SD-41	0 CFM		0 CFM		YES	---	(+)	0 CFM	65 CFM
1-131	STORAGE (PT CLINIC)		Yes	180 CFM	SD-30	150 CFM	RG-32	0 CFM		YES	---	(+)	0 CFM	30 CFM
1-132	CORRIDOR		Yes	340 CFM	SD-29, SD-49	0 CFM		200 CFM	EG-16	YES	---	(+)	0 CFM	140 CFM
1-133	CORRIDOR		Yes	175 CFM	SD-79	0 CFM		0 CFM		YES	---	(+)	0 CFM	175 CFM
1-134	VESTIBULE		Yes	30 CFM	SD-63	0 CFM		0 CFM		YES	---	(+)	0 CFM	30 CFM
1-135	CORRIDOR		Yes	150 CFM	SD-67	0 CFM		0 CFM		YES	---	(+)	0 CFM	150 CFM
1-136	STAIR		Yes	0 CFM		0 CFM		0 CFM		YES	---	(0)	0 CFM	0 CFM
1-201	SUB WAITING		No	0 CFM		0 CFM		0 CFM		YES	---	(-)	0 CFM	0 CFM
1-202	PHYSICAL THERAPY CLINIC		Yes	200 CFM	SD-23	0 CFM		620 CFM	EG-9, EG-15	YES	---	(-)	420 CFM	0 CFM
1-203	PRIVATE TREATMENT ROOM		No	95 CFM	SD-24	105 CFM	RG-12	0 CFM		YES	---	(-)	10 CFM	0 CFM
1-204	OFFICE		Yes	375 CFM	SD-22	375 CFM	RG-11	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-205	SHARED ACTIVITY/ EQUIPMENT		Yes	195 CFM	SD-38	0 CFM		250 CFM	EG-17	YES	---	(0)	55 CFM	0 CFM
1-301	KINESIOTHERAPY THERAPY CLINIC		Yes	415 CFM	SD-39, SD-40	0 CFM		0 CFM		YES	---	(0)	0 CFM	415 CFM
1-302	OFFICE		No	70 CFM	SD-35	70 CFM	RG-15	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-303	CLST.		No	0 CFM		0 CFM		0 CFM		YES	---	(0)	0 CFM	0 CFM
1-304	PRIV. TREATMENT RM		No	70 CFM	SD-36	70 CFM	RG-16	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-401	RECEPTION		No	70 CFM	SD-56	0 CFM		0 CFM		YES	---	(-)	70 CFM	0 CFM
1-402	WAITING		Yes	300 CFM	SD-55	340 CFM	RG-18	0 CFM		YES	---	(-)	40 CFM	0 CFM
1-403	PT. TLT.		No	0 CFM		0 CFM		80 CFM	EG-24	YES	---	(-)	80 CFM	0 CFM
1-404	PT. TLT.		No	0 CFM		0 CFM		80 CFM	EG-23	YES	---	(-)	80 CFM	0 CFM
1-405	SUPPORT OFFICE		Yes	85 CFM	SD-37	85 CFM	RG-17	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-406	TREATMENT		Yes	225 CFM	SD-50	225 CFM	RG-33	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-407	TREATMENT		Yes	690 CFM	SD-51, SD-52	690 CFM	RG-34, RG35	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-407A	SOUND BOOTH		No	0 CFM		0 CFM		0 CFM		YES	---		0 CFM	0 CFM
1-408	TREATMENT		Yes	690 CFM	SD-53, SD-54	690 CFM	RG-36, RG-37	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-408A	SOUND BOOTH		No	0 CFM		0 CFM		0 CFM					0 CFM	0 CFM
1-409	TREATMENT		Yes	690 CFM	SD-88, SD-89	690 CFM	RG-38, RG-39	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-409A	SOUND BOOTH		No	0 CFM		0 CFM		0 CFM					0 CFM	0 CFM
1-411	TREATMENT		Yes	690 CFM	SD-80, SD-90	690 CFM	RG-40, RG-41	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-411A	SOUND BOOTH		No	0 CFM		0 CFM		0 CFM					0 CFM	0 CFM
1-412	SHARED OFFICE		Yes	500 CFM	SD-61, SD-62	500 CFM	RG-22	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-415	TECH WAITING		No	120 CFM	SD-57	135 CFM	RG-19	0 CFM		YES	---	(-)	15 CFM	0 CFM
1-416	TECHNICIAN'S WORKROOM		Yes	340 CFM	SD-58, SD-59	340 CFM	RG-20	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-416A	RECEIVING/ HOLDING/ SHIPPING		No	150 CFM	SD-60	130 CFM	RG-21	0 CFM		YES	---	(+)	0 CFM	20 CFM
1-501	K.T.C. WEIGHT CONDITIONING		Yes	2070 CFM	SD-69, SD-70, SD-71, SD-82, SD-83, SD-84, SD-85, SD-86, SD-87	2280 CFM	RG-25, RG-26, RG-27	0 CFM		YES	---	(-)	210 CFM	0 CFM
1-502	TREATMENT		No	0 CFM		0 CFM		0 CFM		YES	---		0 CFM	0 CFM
1-503	OFFICE		Yes	160 CFM	SD-65	160 CFM	RG-24	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-600	CORRIDOR		Yes	300 CFM	SD-74, SD-75	190 CFM	RG-29, RG-30	0 CFM		YES	---	(+)	0 CFM	110 CFM
1-601	WOMEN'S SHOWER/ LOCKER		Yes	200 CFM	SD-72	85 CFM	RG-28	285 CFM	EG-31, EG-33	YES	---	(-)	85 CFM	0 CFM
1-601	WOMEN'S SHOWER/ LOCKER			0 CFM		0 CFM		0 CFM					0 CFM	0 CFM
1-602	LAUNDRY		No	100 CFM	SD-73	0 CFM		145 CFM	EG-32	YES	---	(-)	45 CFM	0 CFM
1-604	OFFICE		Yes	45 CFM	SD-76	0 CFM		0 CFM		YES	---	(0)	0 CFM	45 CFM
1-604A	IT		No	0 CFM		0 CFM		0 CFM		YES	---	(0)	0 CFM	0 CFM
1-604B	TLT.		No	0 CFM		0 CFM		75 CFM	EG-26	YES	---	(-)	75 CFM	0 CFM
1-605	MEN'S SHOWER/ LOCKER		Yes	600 CFM	SD-77, SD-78	105 CFM	RG-31	705 CFM	EG-27, EG-28	YES	---	(-)	105 CFM	0 CFM
1-701	M.H.O.T. CLINIC		Yes	335 CFM	SD-45, SD-46	0 CFM		430 CFM	EG-21	YES	---	(-)	95 CFM	0 CFM
1-701A	EX.ELECTRICAL ROOM		No	0 CFM		0 CFM		100 CFM	EG-20	YES	---	(-)	100 CFM	0 CFM
1-701B	STORAGE		No	50 CFM	SD-43	0 CFM		0 CFM		YES	---	(+)	0 CFM	50 CFM
1-702	KILN/ SLURRY ROOM		Yes	180 CFM	SD-48	180 CFM	RG-42	0 CFM		YES	---	(0)	0 CFM	0 CFM
1-703	OFFICE		No	45 CFM	SD-68	0 CFM		0 CFM		YES	---	(+)	0 CFM	45 CFM
1-703A	CLEAN HOLD		No	45 CFM	SD-91	0 CFM		0 CFM		YES	---	(+)	0 CFM	45 CFM
1-703B	SOILED		No	0 CFM		0 CFM		50 CFM	EG-34	YES	---	(-)	50 CFM	0 CFM
1-802	BEDROOM		Yes	65 CFM	SD-25	150 CFM	RG-10	0 CFM		YES	---	(-)	85 CFM	0 CFM
1-802A	BATHROOM		No	0 CFM		0 CFM		0 CFM		YES	---	(0)	0 CFM	0 CFM
1-802B	CLST		No	0 CFM		0 CFM		0 CFM		YES	---	(0)	0 CFM	0 CFM
1-803	ADL KITCHEN & LAUNDRY		No	300 CFM	SD-26, SD-27	0 CFM		420 CFM	EG-18	YES	---		120 CFM	0 CFM
1-803	ADL KITCHEN & LAUNDRY		Yes	150 CFM	SD-28	0 CFM		0 CFM		YES	---	(0)	0 CFM	150 CFM
1-804	STORAGE (OT CLINIC)		No	100 CFM	SD-33	0 CFM		0 CFM		YES	---	(+)	0 CFM	100 CFM
1-805	OFFICE		Yes	55 CFM	SD-31	0 CFM		55 CFM	EG-19	YES	---	(0)	0 CFM	0 CFM
388	CORRODOR		Yes	120 CFM	SD-81	0 CFM		100 CFM	EG-29	YES	---	(+)	0 CFM	20 CFM

CHILLED WATER COOLING COIL SCHEDLE

MARK	LOCATION	AREA AND/OR ROOM SERVED	SYSTEM AIR HANDLING	AIRFLOW	MAX FACE VELOCITY	APD	EAT		LAT		TOTAL CAPACITY	SENSIBLE CAPACITY	CHILLED WATER				REMARKS
							DB	WB	DB	WB			FLOW	EWT	LWT	WPD (FT HD)	
69-CHWC-1	69-DAHU-1	POOL ENCLOSURE	69-DAHU-1	7000 CFM	403 FPM	0.37 in-wg	87.2 °F	74.9 °F	70.0 °F	62.9 °F	278000.0 Btu/h	181000.0 Btu/h	56 GPM	45 °F	55 °F	15	CHILLED WATER COIL IS COMBINED WITH HOT WATER COIL

HOT WATER HEATING COIL SCHEDULE

MARK	LOCATION	AREA AND/OR ROOM SERVED	SYSTEM AIR HANDLING	AIRFLOW	MAX FACE VELOCITY	APD	TEMPERATURES		TOTAL CAPACITY	HOT WATER				REMARKS
							EAT	LAT		FLOW	EWT	LWT	WPD (FT HD)	
HC-1	CORRIDOR 1-600	LOCKERS	EXISTING AHU	1245 CFM	623 FPM	0.10 in-wg	55 °F	71 °F	22520 Btu/h	1 GPM	180 °F	140 °F	0.13	84 FINS PER FOOT
69-HC-1	69-DAHU-1	POOL ENCLOSURE	69-DAHU-1	7000 CFM	404 FPM	0.11 in-wg	85 °F	110 °F	240000 Btu/h	16 GPM	180 °F	150 °F	0.13	HEATING COIL IS COMBINED WITH CHILLED WATER COIL

HYDRONIC PUMP SCHEDULE

MARK	LOCATION	AREA AND/OR BLDG SERVED	SYSTEM AND/OR SERVICE	TYPE	CIRCULATING FLUID					MIN % EFF	ELECTRICAL MOTOR					REMARKS
					FLUID	FLOW	HEAD	NPSH AVAILABLE	TEMPERATURE		NOMINAL POWER (HP)	PHASE	VOLT	R.P.M.	SPEED CONTROL	
CWP-3	MECHANICAL ROOM	BLDG 69	CHILLED WATER	FLOOR MOUNTED	CHILLED WATER	55.9 GPM	48.5 ftH2O	0.0 ftH2O	45 °F	53.7	3	3	460	1760	YES	WITH END SUCTION
CWP-4	MECHANICAL ROOM	BLDG 69	CHILLED WATER	FLOOR MOUNTED	CHILLED WATER	55.9 GPM	48.5 ftH2O	0.0 ftH2O	45 °F	53.7	3	3	460	1760	YES	WITH END SUCTION. 100 % REDUNDANCY PUMP
HWP-3	MECHANICAL ROOM	BLDG 69	HOT WATER	FLOOR MOUNTED	HOT WATER	63.2 GPM	33.9 ftH2O	0.0 ftH2O	180 °F	57.9	1.5	3	460	1760	YES	WITH END SUCTION
HWP-4	MECHANICAL ROOM	BLDG 69	HOT WATER	FLOOR MOUNTED	HOT WATER	63.2 GPM	33.9 ftH2O	0.0 ftH2O	180 °F	57.9	1.5	3	460	1760	YES	WITH END SUCTION. 100% REDUNDANCY PUMP.
P-3	POOL MECHANICAL	BLDG 69	HOT WATER	VERTICAL INLINE	HOT WATER	17.8 GPM	30.0 ftH2O	0.0 ftH2O	180 °F	31.6	1	3	208	1160	YES	
P-4	POOL MECHANICAL	POOL ENCLOSURE	HOT WATER	CIRCULATOR	HOT WATER	16.4 GPM	8.3 ftH2O	0.0 ftH2O	180 °F	NA	0.125	1	115	3520	YES	
P-5	POOL MECHANICAL	POOL ENCLOSURE	RADIANT FLOOR	CIRCULATOR	HOT WATER	1.5 GPM	3.2 ftH2O	0.0 ftH2O	120 °F	NA	0.125	1	115	3520	YES	

HYDRONIC HEAT EXCHANGER

MARK	LOCATION	AREA AND/OR BLDG SERVED	SYSTEM AND/OR SERVICE	WATER CONDITIONS					STEAM PRESSURE		CONTROL VALVE	TRAP #	CAPACITY	REMARKS
				TYPE	FLOW	EWT	LWT	WPD	ENT CONTROL VALVE	ENT HEAT EXCHANGER				
HX-3	MECHANICAL ROOM	POOL ENCLOSURE	HOT WATER	SHELL AND TUBE	63.2 GPM	150 °F	180 °F	0.06 ftH2O	20.00 psi	5.0 psi			924200 BTU/H	STEAM TO WATER HEAT EXCHANGER
HX-4	POOL MECHANICAL	POOL ENCLOSURE	POOL WATER	SHELL AND TUBE	44.4 GPM	180 °F	150 °F	0.06 ftH2O	0.00 psi	0.0 psi		NA	649000 BTU/H	WATER TO WATER HEAT EXCHANGER
HX-5	POOL MECHANICAL	POOL ENCLOSURE	RADIANT FLOOR	SHELL AND TUBE	1.0 GPM	180 °F	150 °F	0.01 ftH2O	0.00 psi	0.0 psi		NA	14800 BTU/H	WATER TO WATER HEAT EXCHANGER

EXPANSION TANK SCHEDULE

MARK	LOCATION	SYSTEM AND/OR SERVICE	TYPE	APPROX. SYSTEM VOLUME	SYSTEM TEMPERATURE RANGE		INITIAL PRESSURE IN TANK	MAX OPERATING PRESSURE	FILL PRESSURE AT TANK		MIN VOLUME TANK	MIN BLADDER VOLUME	PIPE SIZE TO TANK	COLD WATER FILL SIZE	REMARKS
					MIN TEMP	MAX TEMP			RELIEF VALVE	AT TANK					
ET-1	MECHANICAL ROOM	HOT WATER	BLADDER	250.00 gal	150 °F	180 °F	12.0 psi	125.0 psi	30.0 psi	12.0 psi	53.00 gal	53.00 gal	1"	3/4"	
ET-2	MECHANICAL ROOM	CHILLED WATER	BLADDER	250.00 gal	45 °F	550 °F	12.0 psi	125.0 psi	30.0 psi	12.0 psi	53.00 gal	53.00 gal	1"	3/4"	

HYDRONIC UNIT HEATER SCHEDULE

MARK	LOCATION	AREA AND/OR ROOM SERVED	MIN. CAPACITY	TEMPERATURES		FLOW	WPD	CONTROL SEQUENCE	MOTOR					REMARKS
				EAT DB	EWT				HP	PHASE	VOLT	AMPS	R.P.M.	
69-UH-1	POOL ENCLOSURE	POOL ENCLOSURE	20400	50 °F	180 °F	2 GPM	0.2 ftH2O	NA	1/25	1	115	1.6	1550	

LOUVER SCHEDULE

MARK	LOCATION	AREA AND/OR ROOM SERVED	SIZE	AIRFLOW	APD	MOUNTING	APPLICATION	TYPE	REMARKS
L-1	POOL ENCLOSURE		40x40	1600 CFM	0.02 in-wg	WALL	INTAKE	WEATHER LOUVER	WITH INSECT SCREEN
L-2	POOL ENCLOSURE		40x40	1600 CFM	0.02 in-wg	WALL	EXHAUST	WEATHER LOUVER	WITH INSECT SCREEN
L-3	POOL ENCLOSURE		62x38	3500 CFM	0.04 in-wg	WALL	RETURN	2" FRAME, THINSTYLE	ALUMINUM CONSTRUCTION
L-4	POOL ENCLOSURE		62x34	3500 CFM	0.04 in-wg	WALL	RETURN	2" FRAME, THINSTYLE	ALUMINUM CONSTRUCTION

FAN SCHEDULE

MARK	LOCATION	AREA AND/OR ROOM SERVED	SERVICE	AIRFLOW	TYPE	TSP	WHEEL	CLASS	ARRANGEMENT, ROTATION, AND DISCHARGE	MIN % EFF	DRIVE	FAN MAX RPM	BHP	HP (W)	PHASE	VOLT	R.P.M.	SPEED CONTROL	CONTROL SEQUENCE	REMARKS
69-EF-1	69-DAHU-1	POOL ENCLOSURE	AHU EXHAUST	1600 CFM	CENTRIFUGAL	0.50 in-wg	FI			---	BD	0	0.4	1	3	460	0	VARIABLE		NEW
69-SF-1	69-DAHU-1	POOL ENCLOSURE	AHU SUPPLY	7000 CFM	CENTRIFUGAL	1.00 in-wg	BI			---	BD	0	4.5	7.5	3	460	0	VARIABLE		NEW
EF-1	ROOF	LOCKERS	GENERAL EXHAUST	1210 CFM	UPBLAST CENTRIFUGAL	0.38 in-wg	BI			43.4	DD	1725	NA	1/2	1	115	1204	VARIABLE		NEW
EF-2	ROOF	BATHROOM	GENERAL EXHAUST	310 CFM	UPBLAST CENTRIFUGAL	0.13 in-wg	BI			27.6	DD	1300	NA	1/30	1	115	1201	VARIABLE		NEW
EF-3	ROOF	BATHROOM	GENERAL EXHAUST	420 CFM	UPBLAST CENTRIFUGAL	0.13 in-wg	BI			41.1	DD	1050	NA	1/40	1	115	1050	VARIABLE		NEW
EF-4	CEILING	BATHROOM	GENERAL EXHAUST	160 CFM	CABINET EXHAUST	0.13 in-wg	FI			---	DD	719	NA	(83)	1	115	719	VARIABLE		NEW
EF-5	CEILING	BATHROOM	GENERAL EXHAUST	160 CFM	CABINET EXHAUST	0.13 in-wg	FI			---	DD	719	NA	(83)	1	115	719	VARIABLE		NEW

AIR HANDLING UNIT SCHEDULE

MARK	LOCATION	AREA AND/OR ROOM SERVED	TYPE	AIRFLOW	AIRFLOW			SUPPLY FAN MARK	RETURN OR RELIEF FAN MARK	EXHAUST FAN MARK	PREFILTER MARK	AFTERFILTER MARK	FINAL FILTER MARK	HEAT RECOVERY MARK	PREHEAT COIL MARK	COOLING COIL MARK	REHEAT COIL	HUMIDIFIER MARK	REMARKS
					SUPPLY	MIN OA	RETURN												
69-DAHU-1	POOL MECH. ROOM	POOL ENCLOSURE	DRAW THRU	CV	7000 CFM	1600 CFM	5400 CFM	69-SF-1	NA	69-EF-1	NA	NA	NA	NA	NA	69-CHWC-1	69-HC-1	NA	

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Revisions	Date

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Project Number: 3627
Scale:

Drawing Title: MECHANICAL SCHEDULES

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03/29/13
Checked: DJR
Drawn: ORD

VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: MH602
Dwg. 53 of 86

Office of Facilities Management
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

GENERAL NOTES AND SPECIFICATIONS

1 THE ENTIRE PLUMBING SYSTEM SHALL BE IN ACCORDANCE WITH ALL PROJECT SPECIFICATIONS, LOCAL, STATE, AND NATIONAL CODES ALONG WITH ALL VA STANDARDS, EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S WRITTEN RECOMMENDATIONS.

2 ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING OF ALL PIPING WITH EXISTING CONDITIONS AND SHALL PROVIDE ANY NECESSARY OFFSETS, REROUTING, ETC. REQUIRED FOR A COMPLETE AND COORDINATED INSTALLATION.

3 THESE PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL PROVIDE ALL NECESSARY OFFSETS, TEES, ELBOWS, ETC FOR A COMPLETE WORKING PLUMBING SYSTEM.

4 THE PLUMBING CONTRACTOR SHALL COMPLY WITH ALL VA PERMIT AND INSPECTION PROCEDURES REQUIRED FOR THIS WORK.

5 CONTRACTOR SHALL COORDINATE ANY PLUMBING SYSTEM REQUIRING SHUTDOWN WITH THE OWNER 1 WEEK IN ADVANCE.

6 ALL DOMESTIC PIPING SHOWN IS LOCATED ABOVE THE CEILING OR WITHIN WALLS UNLESS NOTED OTHERWISE.

7 ALL PLUMBING FIXTURES AND KITCHEN EQUIPMENT SHALL HAVE A PISTON TYPE WATER HAMMER ARRESTOR SIZED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

8 ALL SANITARY SEWER PIPING SHOWN IS LOCATED BELOW GRADE OR WITHIN WALLS UNLESS NOTED OTHERWISE. ALL SANITARY VENT PIPING SHOWN IS ABOVE CEILING OR WITHIN WALLS UNLESS NOTED OTHERWISE.

9 ALL PIPING SYSTEMS SHALL BE SUPPORTED AS REQUIRED BY ALL LOCAL, STATE, AND NATIONAL CODES ALONG WITH ALL VA STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

10 ALL PIPING PENETRATIONS THRU NEW OR EXISTING WALLS OR FLOORS SHALL BE SEALED TO EQUAL THE RATING OF THE NEW OR EXISTING WALL OR FLOOR.

11 ALL PLUMBING SYSTEMS SHALL BE TESTED AS REQUIRED PER ALL LOCAL, STATE, AND NATIONAL CODES ALONG WITH ALL VA STANDARDS.

12 THE PLUMBING CONTRACTOR SHALL COORDINATE ALL PLUMBING PIPING WITH ALL STRUCTURAL COMPONENTS.

13 THE ENTIRE DOMESTIC WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES ALONG WITH ALL VA STANDARDS.

PLUMBING LEGEND

SS	SANITARY SEWER PIPING (SS)
V	VENT PIPING (V)
SD	STORM DRAIN (SD)
CW	COLD WATER PIPING (CW)
HW	HOT WATER PIPING (HW)
HWC	HOT WATER CIRCULATION (HWC)
	PIPE TURNS UP
	PIPE TURNS DOWN
	CONTINUATION
	TIE POINT INTO EXISTING
	LIMITS OF DEMOLITION

PLUMBING ABREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
BFP	BACKFLOW PREVENTER
CW	COLD WATER
CV	COMMON VENT
FCO	FLOOR CLEANOUT (FLOOR OR SLAB)
FD	FLOOR DRAIN
GCO	GROUND CLEANOUT
GW	GREASE WASTE
HB	HOSE BIBB
HD	HUB DRAIN
IND	INDIRECT DRAIN
HW	HOT WATER
P-#	PLUMBING FIXTURE - NUMBER
P.C.	PLUMBING CONTRACTOR
SS	SANITARY SEWER
V	VENT
V.T.R.	VENT THROUGH ROOF
W	WASTE
WCO	WALL CLEANOUT
SD	STORM WATER
HWC	HOW WATER CIRCULATION
IW	ICED WATER (SUPPLY)

DEDUCT ALTERNATES

ALT #1 — ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3ft deep reinforced concrete footings (see structural). Provide metal panel fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 — ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Add one (1) wythe brick and precast concrete cap to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 — ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigid insulation at exterior side of CMU.

ALT #5 — ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 — ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 — ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5" deep by 6' wide sidewalk on compacted fill with turned down edge at South and Southwest sides. Provide 2.5" OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 — ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 — ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide ventilation supply and exhaust ductwork demolition and installation.

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Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA. 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA. 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	3627
Scale	As indicated
Drawing Title	PLUMBING NOTES, ABBREVIATIONS, AND LEGEND
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03/29/13
Checked	DJR
Drawn	ORD
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	P-001
Dwg. 54 of 86	

Office of Facilities Management

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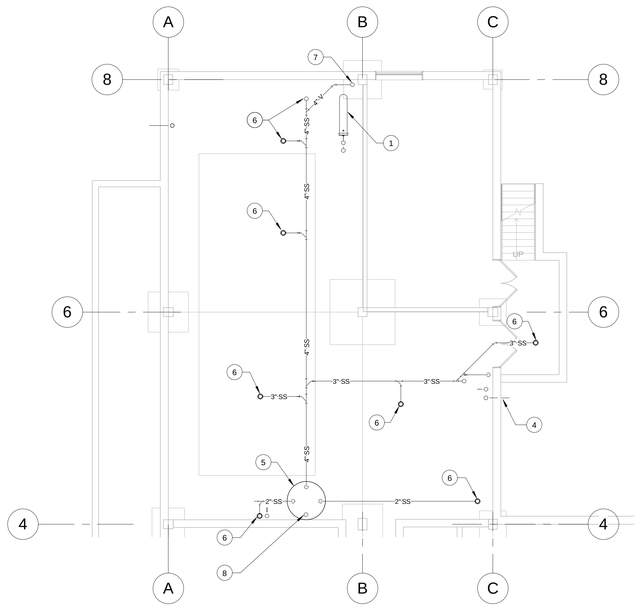
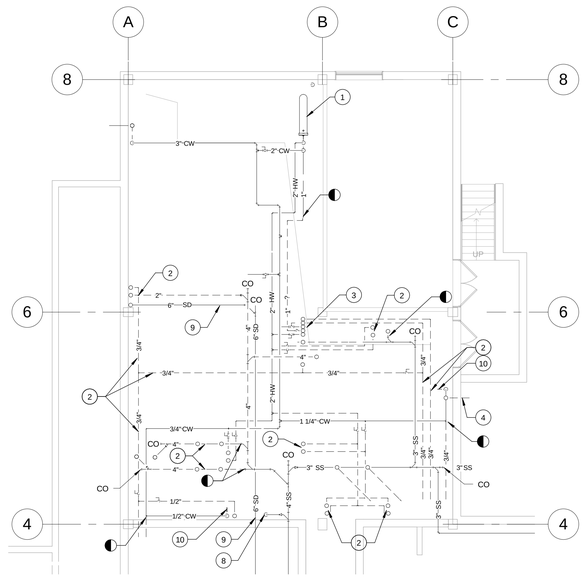
VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING HEAT EXCHANGER TO REMAIN.
2	EXISTING PIPING TO BE DEMOLISHED.
3	EXISTING 3/4" ICED WATER SUPPLY AND RETURN, 2 1/2" CW, 1" HWC, 1 1/2" HW, UP IN CHASE.
4	EXISTING 1" CW TO COOLING TOWER TO BE DEMOLISHED.
5	EXISTING SUMP PUMP TO REMAIN.
6	EXISTING FLOOR DRAIN TO REMAIN.
7	EXISTING 4" VENT TO REMAIN.
8	EXISTING 3" PUMPED DISCHARGE TO REMAIN.
9	EXISTING PIPING TO REMAIN UNDISTURBED.
10	EXISTING 1/2" HOSE BIBB TO REMAIN.



2 BASEMENT PLUMBING DEMOLITION PLAN - UNDER SLAB
1/8" = 1'-0"



1 BASEMENT PLUMBING DEMOLITION PLAN - ABOVE CEILING
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: BASEMENT PLUMBING DEMOLITION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PD101

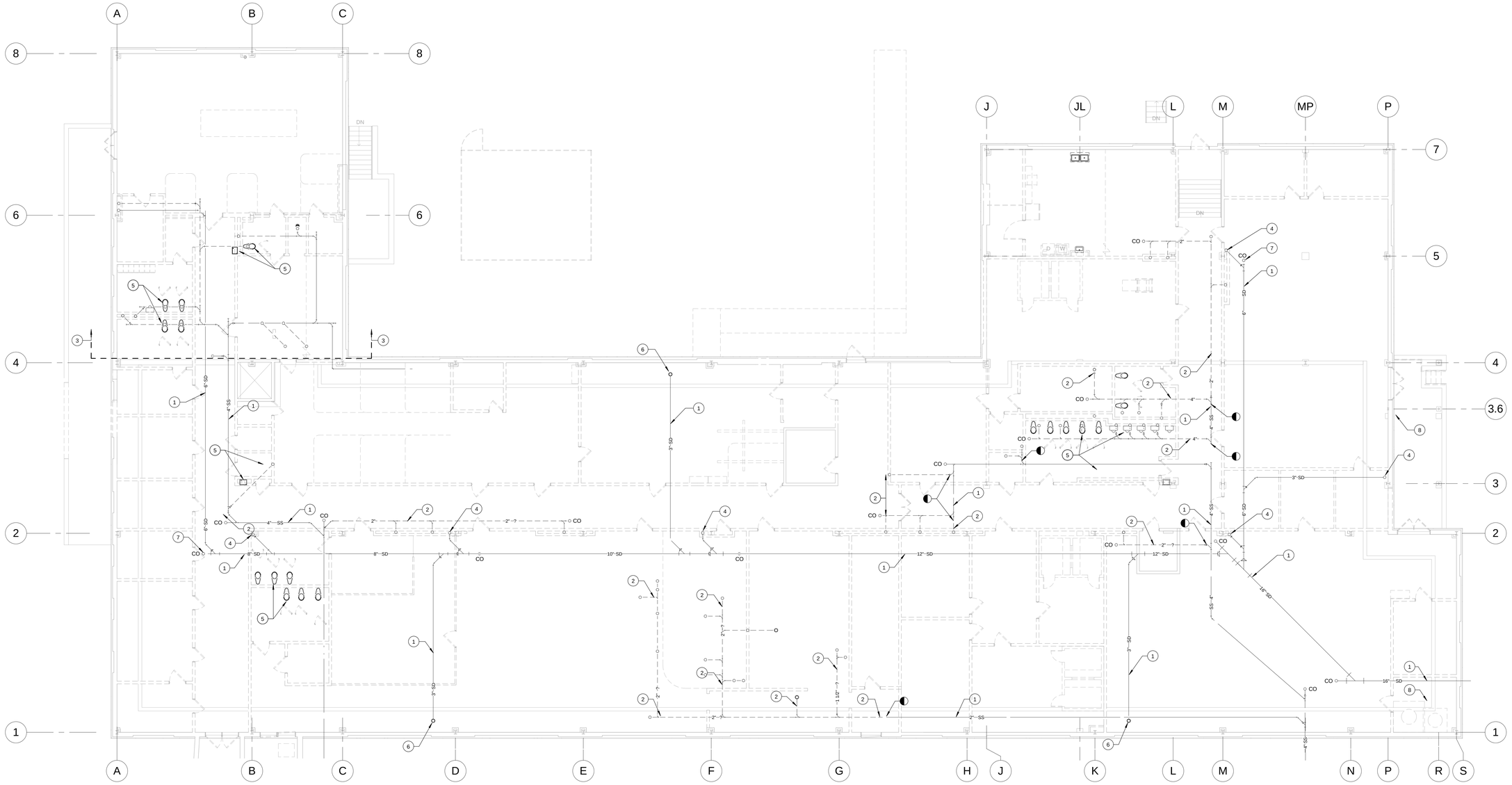
Dwg. 55 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING PIPING TO REMAIN UNDISTURBED.
2	EXISTING PIPING TO BE DEMOLISHED.
3	BEYOND THIS POINT REFER TO 1/PD101 BASEMENT DEMOLITION PLAN ABOVE CEILING, FOR FULL SCOPE OF DEMOLITION WORK UNDER 1ST FLOOR SLAB.
4	EXISTING STORM DRAIN RISERS TO REMAIN UNDISTURBED.
5	EXISTING PLUMBING FIXTURES TO BE DEMOLISHED, ASSOCIATED PIPING TO BE REMOVE AS MUCH AS FEASIBLE.
6	EXISTING FLOOR DRAIN IN TUNNEL TO REMAIN.
7	EXISTING STORM DRAIN FLOOR CLEANOUT TO BE DEMOLISHED.
8	EXISTING AIR COMPRESOR AND ASSOCIATED PIPNG, HOSE REEL, ETC. TO BE DEMOLISHED.



1 1ST FLOOR PLUMBING DEMOLITION PLAN - UNDER SLAB
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR PLUMBING DEMOLITION PLAN - UNDER SLAB

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PD111

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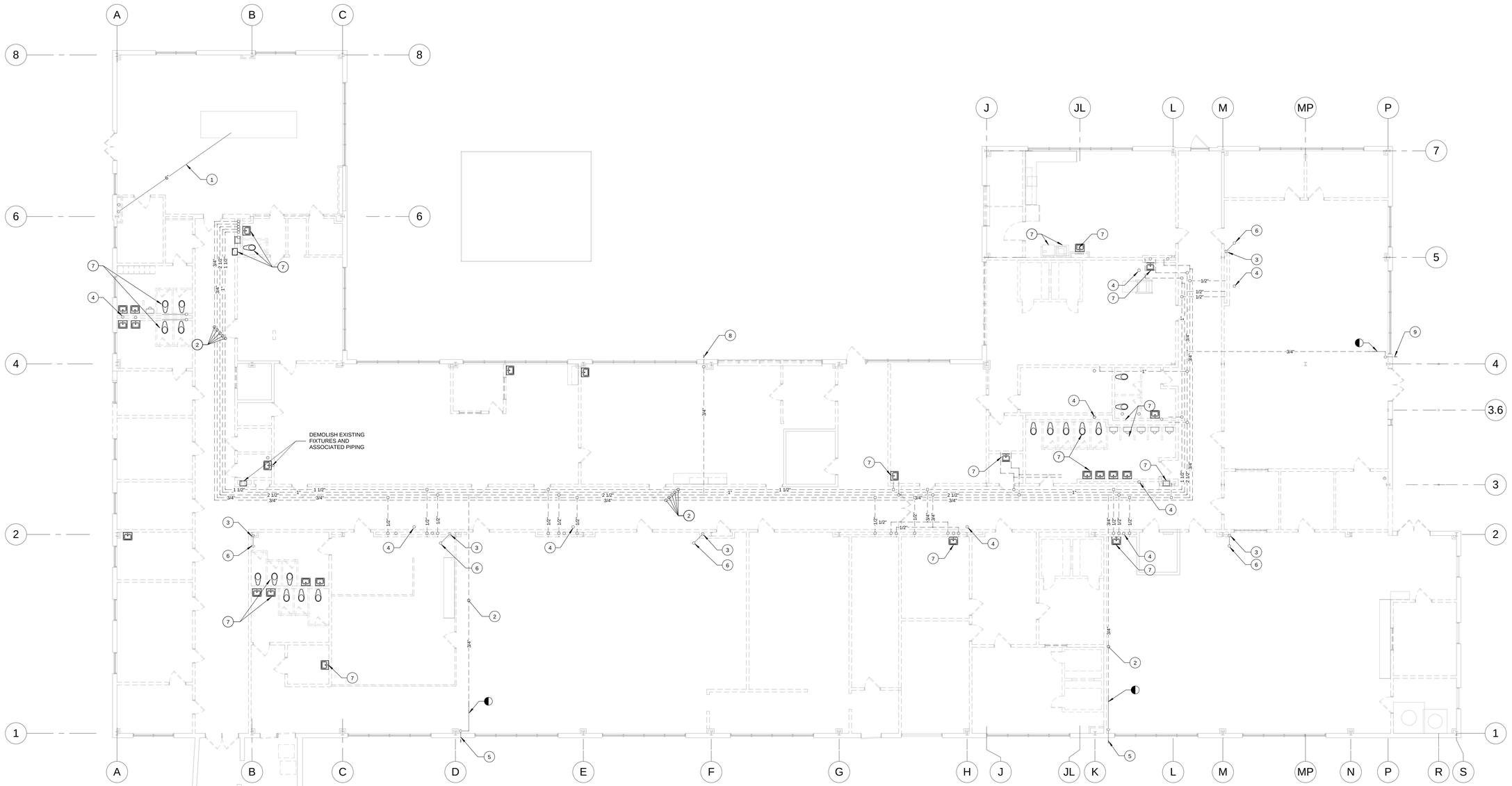
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING PIPING TO REMAIN UNDISTURBED.
2	EXISTING PIPING TO BE DEMOLISHED.
3	EXISTING STORM DRAIN RISERS TO REMAIN UNDISTURBED.
4	EXISTING VENT THROUGH ROOF (V.T.R.).
5	EXISTING HOSE BIBB TO REMAIN.
6	EXISTING STORM DRAIN PIPE UP TO ROOF DRAIN.
7	EXISTING PLUMBING FIXTURE TO BE DEMOLISHED, ASSOCIATED PIPING TO BE REMOVE AS MUCH AS FEASIBLE.
8	EXISTING HOSE BIBB TO BE RELOCATED.
9	EXISTING HOSE BIBB TO REMAIN UNLESS ALT#B IS ACCEPTED. IN SUCH CASE THE HOSE BIBB SHALL BE RELOCATED NEARBY.



1 1ST FLOOR PLUMBING DEMOLITION PLAN - ABOVE CEILING
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR PLUMBING DEMOLITION PLAN - ABOVE CEILING

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PD112

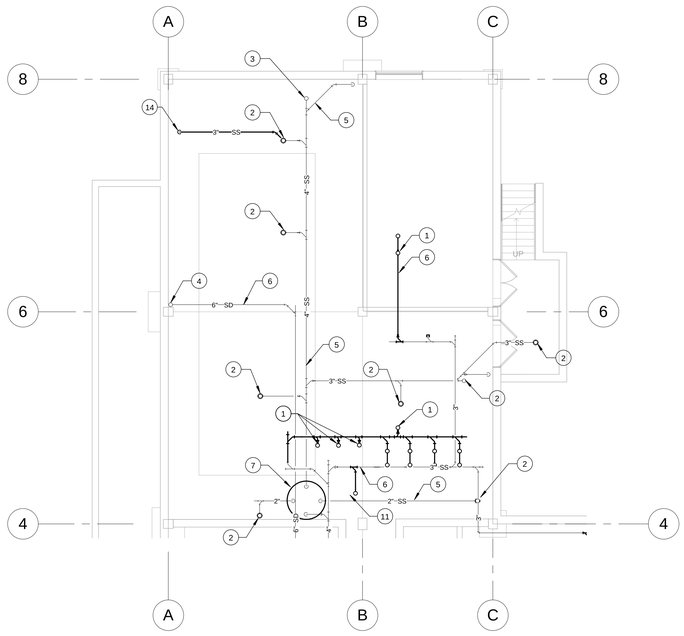
Dwg. 57 of 86

Office of Facilities Management

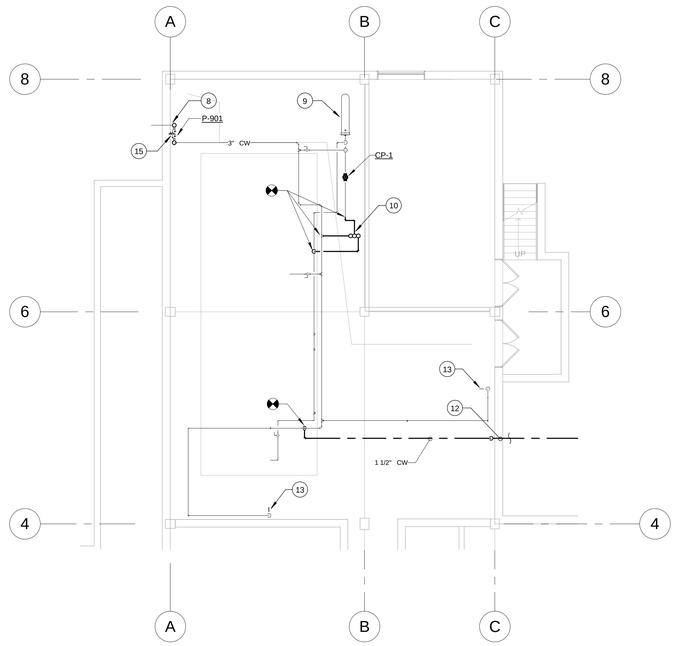
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	2"ø SANITARY PIPE UP TO LAVATORIES. SEE 1-PP111 FOR CONTINUATION.
2	EXISTING FLOOR DRAIN.
3	4" END OF LINE CLEANOUT.
4	EXISTING STORM DRAIN PIPE UP TO ROOF DRAIN.
5	PIPE LOCATED UNDER SLAB.
6	PIPE LOCATED BELOW 1ST FLOOR SLAB.
7	EXISTING SUMP.
8	EXISTING DOMESTIC WATER SERVICE ENTRANCE.
9	EXISTING DOMESIC WATER HEAT EXCHANGER.
10	NEW LOCATION FOR DOMESTIC WATER RISER TO SERVE 1ST FLOOR. SEE 1-PP112 FOR CONTINUATION.
11	3"ø SANITARY PIPE UP TO FLOOR DRAIN. SEE 1-PP111 FOR CONTINUATION.
12	1 1/2" CW TO POOL ENCLOSURE. RUN PIPE IN SAME TRENCH USED FOR HYDRONIC PIPING. SEE 1PP112 FOR CONTINUATION.
13	EXISTING HOSE BIBB.
14	NEW 3" SANITARY FROM BACKFLOE PREVENTER AIR GAP TO NEAREST FLOOR DRAIN.
15	NEW REDUCED PRESSURE BACKFLOW PREVENTER.



1 BASEMENT SANITARY PLAN
1/8" = 1'-0"



2 BASEMENT DOMESTIC WATER PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: BASEMENT PLUMBING PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PP101

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Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	3" WALL CLEANOUT.
2	CONNECT TO EXISTING 2 1/2" V.T.R.
3	4" FLOOR CLEANOUT.
4	CONNECT TO EXISTING 3" V.T.R.
5	2" FLOOR CLEANOUT.
6	WASHER BOX WITH 2" HUB DRAIN.
7	BEYOND THIS POINT REFER TO 1/PP101 BASEMENT PLUMBING DEMOLITION PLAN ABOVE CEILING, FOR FULL SCOPE OF NEW WORK UNDER 1ST FLOOR SLAB.
8	EXISTING FLOOR DRAIN IN TUNNEL.
9	EXISTING STORM DRAIN PIPE UP TO ROOF DRAIN.
10	1 1/2" VENT UP TO 3" VTR. OFFSET AS NECESSARY FOR THE PIPE TO PENETRATE THE ROOF AT LEAST 5' FROM THE EDGE OF THE BUILDING.
11	2" VENT UP TO 3" VTR.
12	4" WALL CLEANOUT.
13	CONNECT TO EXISTING 4" V.T.R.
14	6" SANITARY DISCHARGE FROM THE POOL SUMP. SEE CIVIL FOR CONTINUATION.
15	2" FLOOR DRAIN CONNECTING TO A 3" SS PIPE FOR COMBINATION WASTE AND VENT.
16	STORM PIPING ABOVE CEILING.
17	3x3x2.5 SUMP PIT WITH GRATE. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
18	NEW 4" STORM DRAIN FLOOR CLEANOUT.
19	NEW 3" ROOF DRAIN. TIE INTO EXISTING VERTICAL STORM DRAIN LEADER.

1 1ST FLOOR SANITARY PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N.DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

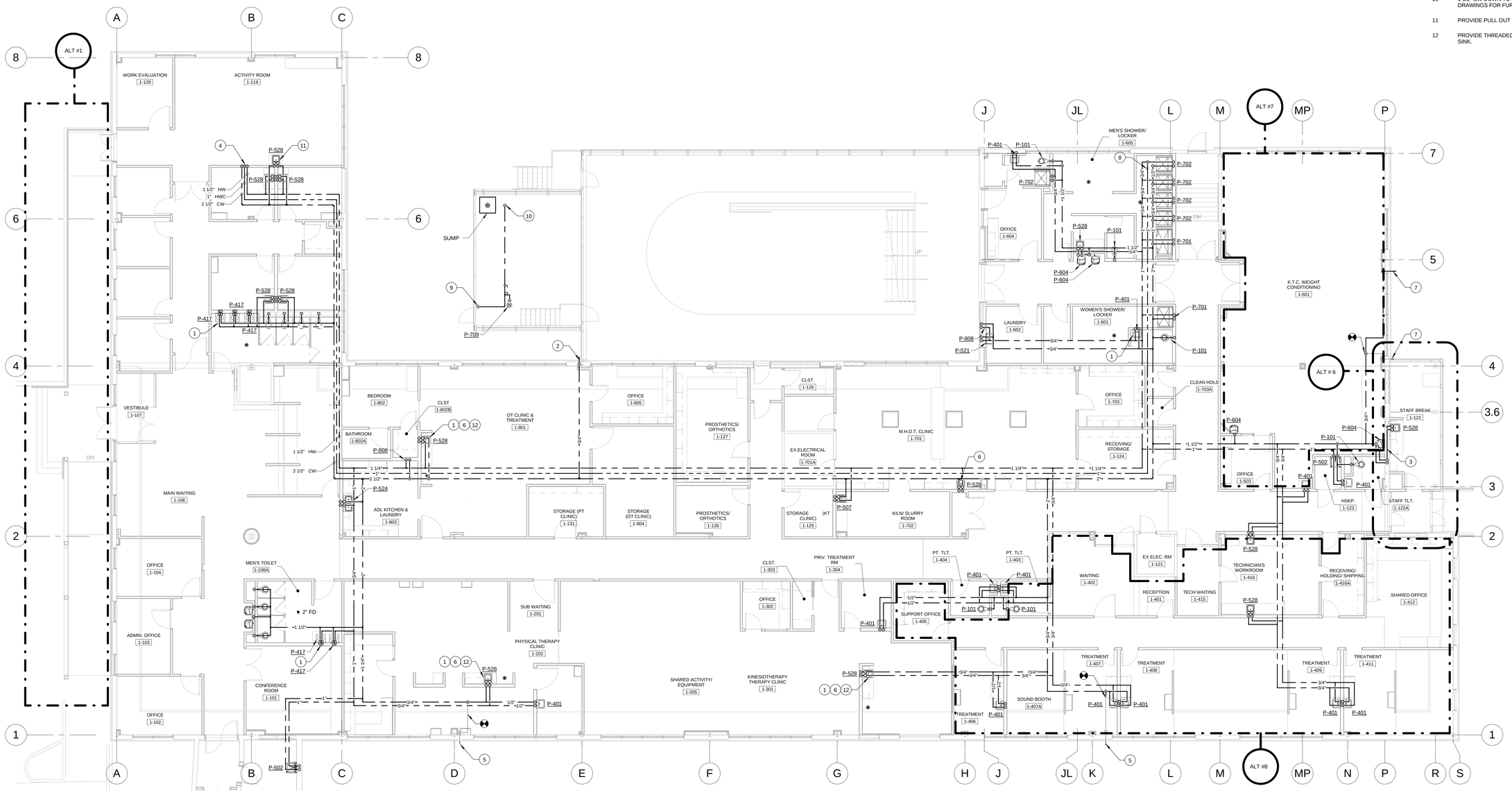
Drawing Title	1ST FLOOR SANITARY PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03/29/13
Checked	DJR
Drawn	ORD
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	PP111
Dwg. 59 of 86	

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	PROVIDE TRAP PRIMER FOR NEARBY FLOOR DRAIN.
2	RELOCATED WALL HYDRANT.
3	DOMESTIC WATER PIPES RACKED ON WALL UNDER THE COUNTER. OFFSET PIPES TO MISS WINDOW.
4	DOMESTIC WATER PIPES FROM BASEMENT. SEE 1/PP102 FOR CONTINUATION.
5	EXISTING WALL HYDRANT.
6	PROVIDE FOOT PEDAL CONTROL FOR THIS FIXTURE.
7	DEMOLISH HOSE BIBB AND RELOCATE AS SHOWN IF ALT #8 IS ACCEPTED.
8	BALANCING VALVE (CIRCUIT SETTER) SET AT 2 GPM.
9	1 1/2" CW DOWN IN PIPE TRENCH FROM MECHANICAL ROOM. SEE 2/PP101 FOR CONTINUATION.
10	1 1/2" CW DOWN TO 8" FILL FUNNEL. SEE AQUATIC CONSULTANT DRAWINGS FOR FURTHER INSTRUCTIONS.
11	PROVIDE PULL OUT SINK SPRAYER FOR FAUCET SERVING THIS SINK.
12	PROVIDE THREADED HOSE CONNECTION FOR FAUCET SERVING THIS SINK.



1 1ST FLOOR DOMESTIC WATER PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

Revisions	Date

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR DOMESTIC WATER PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number	Building Number	Drawing Number
542-CSI-203	69	PP112

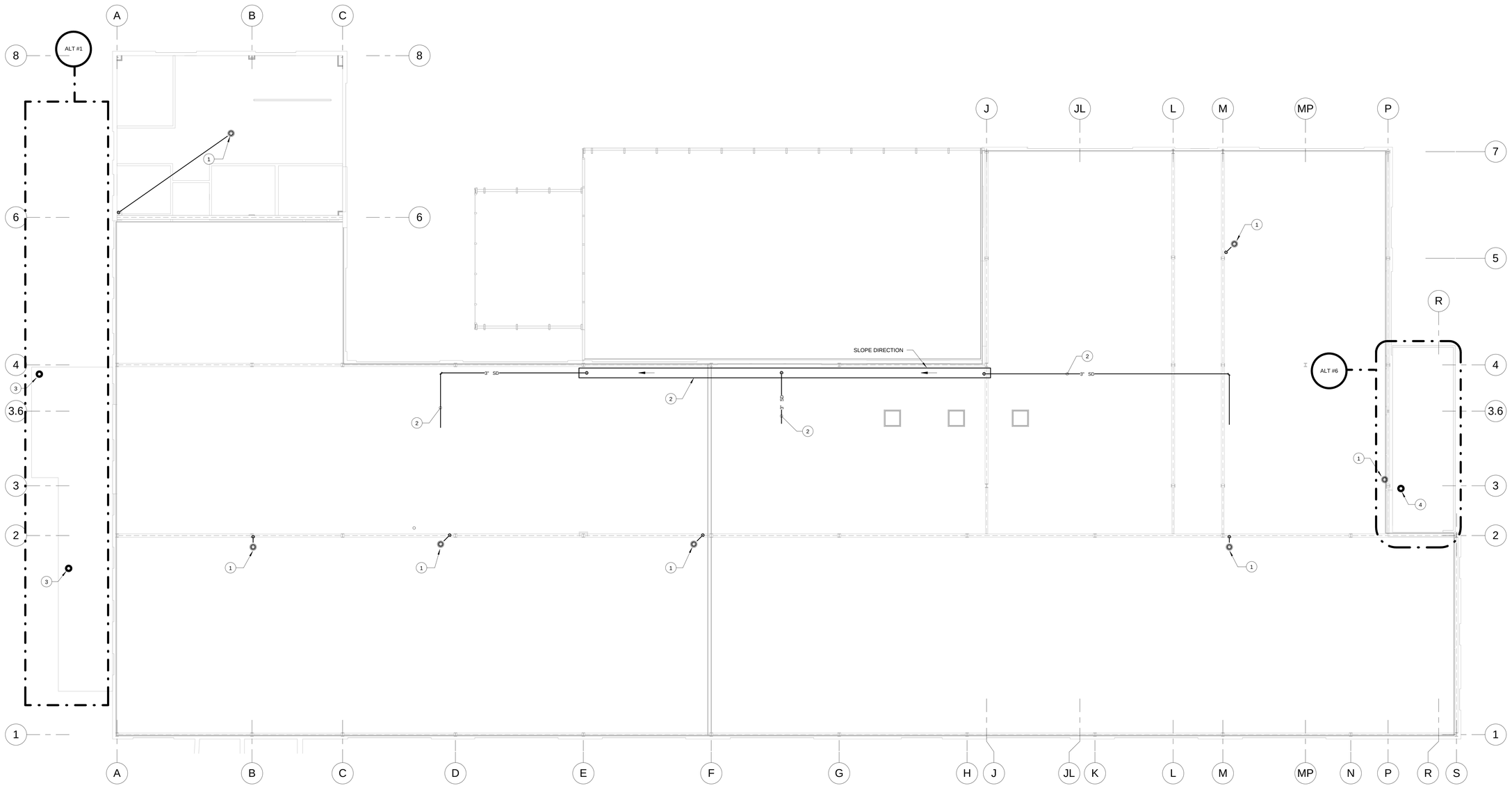
Dwg. 60 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING ROOF DRAIN.
2	INSTALL 6" SEMI-CIRCULAR ROOF GUTTER @ 2% SLOPE ALONG SIDE POOL ENCLOSURE AND PIPE (3) INDEPENDENT DOWNSPOUTS TO NEARBY EXISTING ROOF DRAIN AS SHOWN.
3	NEW 3" ROOF DRAIN. PIPE DOWN TO DOWNSPOUT NOZZLE TO DISCHARGE ON SPASH BLOCK.
4	NEW 3" ROOF DRAIN TO CONNECT TO EXISTING STORM DRAIN VERTICAL LEADER AS SHOWN ON SHEET PP111.



1 ROOF STORM DRAINAGE PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: ROOF STORM DRAINAGE PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PP113

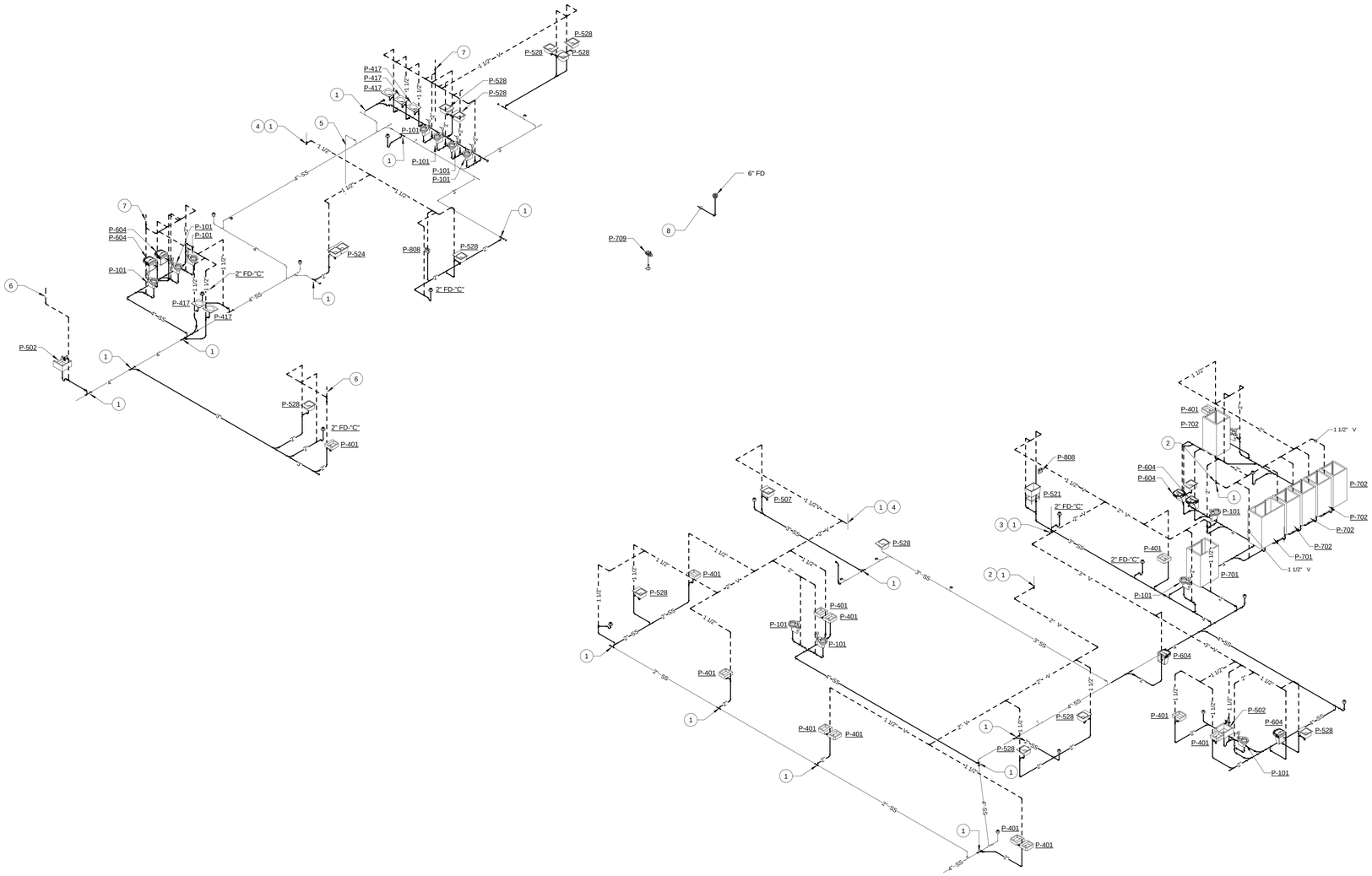
Dwg. 61 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	POINT OF CONNECTION TO EXISTING.
2	CONNECT TO EXISTING 2 1/2" V.T.R.
3	CONNECT TO EXISTING 4" V.T.R.
4	CONNECT TO EXISTING 3" V.T.R.
5	EXISTING 2" PUMPED SS FROM SUMP IN BASEMENT.
6	1 1/2" VENT UP TO 3" VTR. OFFSET AS NECESSARY FOR THE PIPE TO PENETRATE THE ROOF AT LEAST 5' FROM THE EDGE OF THE BUILDING.
7	2" VENT UP TO 3" VTR.
8	6" SANITARY DISCHARGE FROM THE POOL SUMP. SEE CIVIL FOR CONTINUATION.



1 WASTE AND VENT ISOMETRIC

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	W. COOK ARCHITECTS 1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	

Drawing Title: WASTE AND VENT ISOMETRIC

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PP301

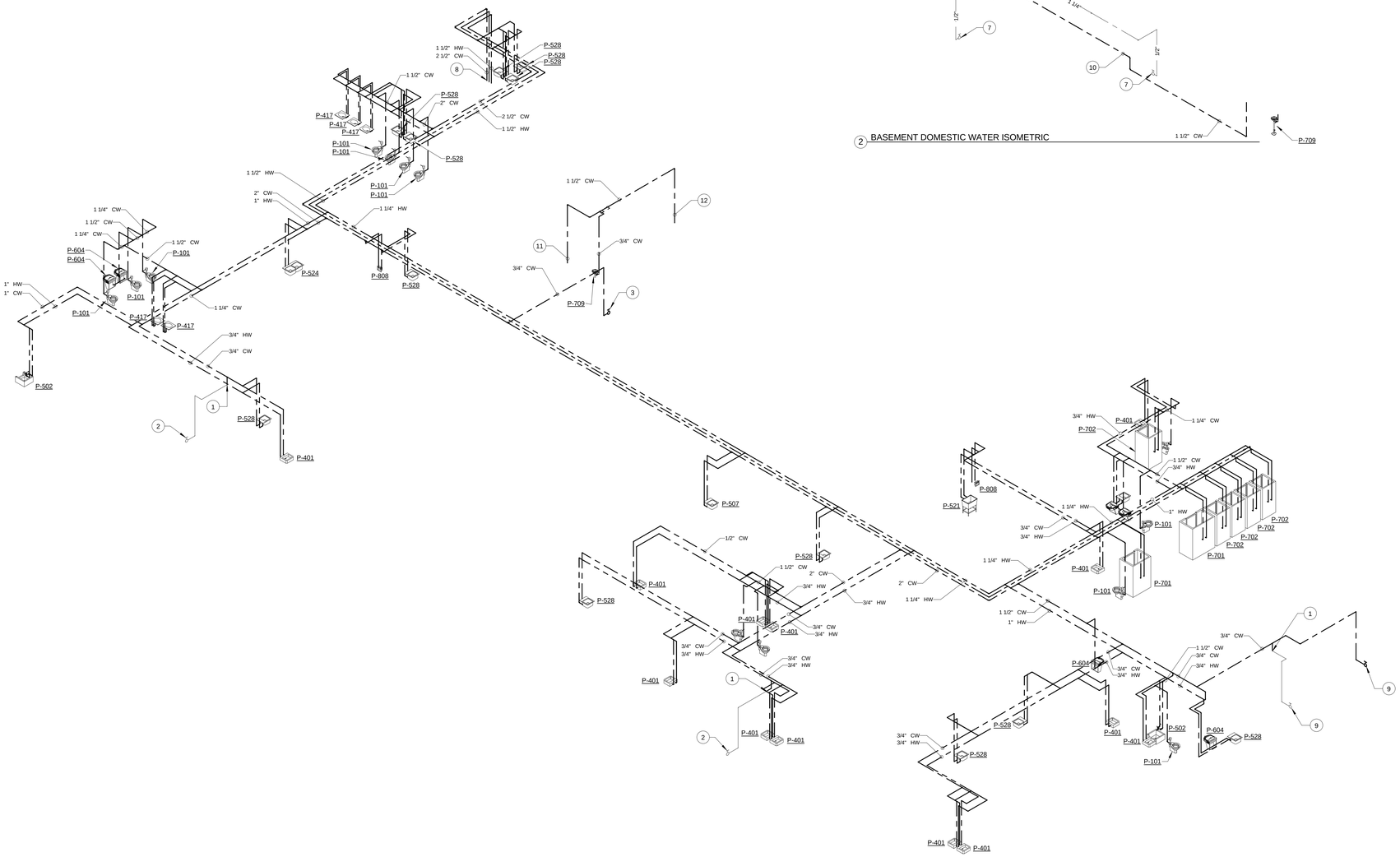
Dwg. 62 of 86

Office of Facilities Management

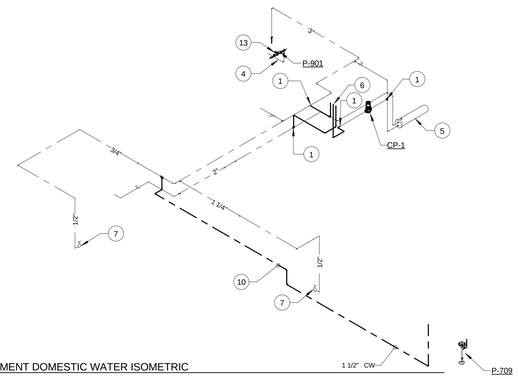
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	POINT OF CONNECTION TO EXISTING.
2	EXISTING WALL HYDRANT.
3	RELOCATED WALL HYDRANT.
4	EXISTING DOMESTIC WATER SERVICE ENTRANCE.
5	EXISTING DOMESIC WATER HEAT EXCHANGER.
6	NEW LOCATION FOR DOMESTIC WATER RISER TO SERVE 1ST FLOOR. SEE 1-PP302 FOR CONTINUATION.
7	EXISTING WALL HYDRANT IN BASEMENT.
8	PIPES DOWN TO MECHANICAL ROOM. SEE 2-PP302 FOR CONTINUATION.
9	DEMOLISH HOSE BIBB AND RELOCATE AS SHOWN IF ALT #8 IS ACCEPTED.
10	1 1/2" CW TO POOL ENCLOSURE. RUN PIPE IN SAME TRENCH USED FOR HYDRONIC PIPING.
11	PIPES DOWN TO PIPE TRENCH. SEE 2-PP302 FOR CONTINUATION.
12	1 1/2" CW DOWN TO 8" FILL FUNNEL. SEE AQUATIC CONSULTANT DRAWINGS FOR FURTHER INSTRUCTIONS.
13	NEW REDUCED PRESSURE BACKFLOW PREVENTER.



2 BASEMENT DOMESTIC WATER ISOMETRIC



1 DOMESTIC WATER ISOMETRIC

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	

Drawing Title: DOMESTIC WATER ISOMETRIC

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

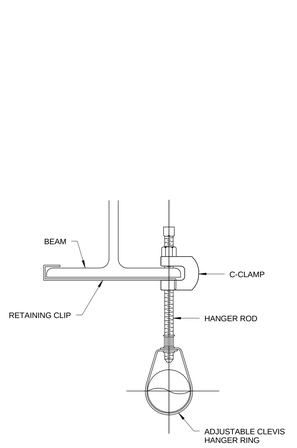
Drawing Number: PP302

Dwg. 63 of 86

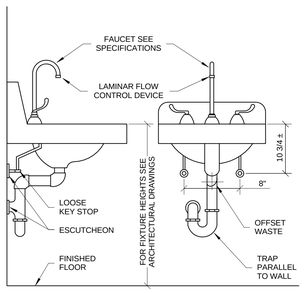
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



1 C-CLAMP PIPE HANGER DETAIL
N.T.S.



2 TYPICAL WHEELCHAIR LAVATORY DETAIL
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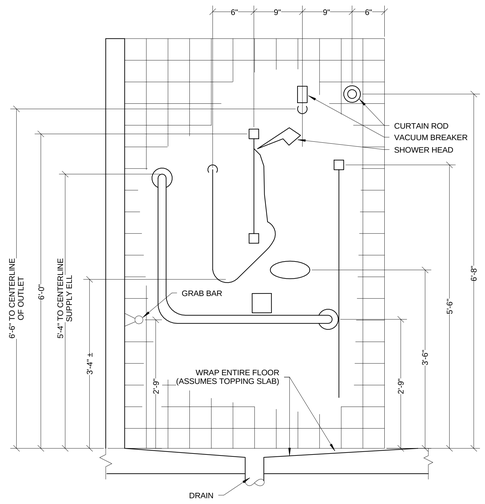
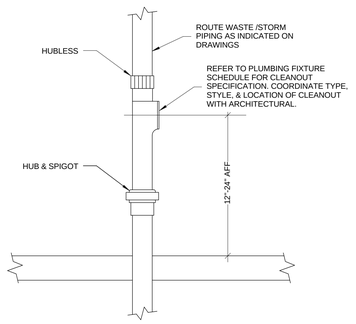


3 P-701 PATIENT SHOWER
N.T.S.



4 WALL CLEANOUT DETAIL
N.T.S.

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: PLUMBING DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03/29/13	DJR	ORD

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: PP501

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Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTON	WASTE PIPE	VENT PIPE	COLD WATER	HOT WATER	WASTE FIXTURE UNITS	WATER FIXTURE UNITS	WRIST BLADE HANDLES	ELECTRIC SENSOR	REMARKS
P-101	WATER CLOSET FLOOR MOUNTED	4"	2"	1 1/4"		6	10		Yes	
P-401	LAVATORY WALL HUNG	1 1/2"	1 1/2"	1/2"	1/2"	1		Yes	No	
P-417	LAVATORY COUNTER MOUNTED	1 1/2"	1 1/2"	1/2"	1/2"	1	1	Yes	No	
P-502	SINK, SERVICE, FLOOR MOUNTED	3"	1 1/2"	1"	1"	2	4	No	No	
P-507	PLASTER SINK	1 1/2"	1 1/2"	3/4"	3/4"	3	2	No	No	PROVIDE HEAVY CAST IRON PLASTER TRAP
P-521	LAUNDRY TUB WITH LEGS	1 1/2"	1 1/2"	3/4"	3/4"	2	4	No	No	
P-524	KITCHEN SINK DOUBLE COMPARTMENT	1 1/2"	1 1/2"	3/4"	3/4"	3	2	No		
P-528	SINGLE COMPARTMENT HAND SINK	1 1/2"	1 1/2"	3/4"	3/4"	3	2	No	No	SOME LOCATIONS REQUIRE FOOT PEDAL CONTROL. SEE PP112 FOR SPECIFIC INSTANCES.
P-604	WATER COOLER WALL HUNG	1 1/2"	1 1/2"	1/2"		0.5	0.5			
P-701	SHOWER ADA COMPLIANT	2"	1 1/2"	1/2"	1/2"	2	2			
P-702	SHOWER	2"	1 1/2"	1/2"	1/2"	2	2			
P-709	EYE/FACE WASH PEDESTAL MOUNTED			3/4"						
P-808	WASHER BOX	2"	1 1/2"	3/4"	3/4"	3	4			
P-901	REDUCED PRESSURE PRINCIPLE ASSEMBLY			3"						LEAD-FREE, VERTICAL FLOW UP, 175 PSI MAXIMUM WORKING WATER PRESSURE, 140 DEG MAXIMUM WORKING WATER TEMPERATURE

CIRCULATOR PUMP SCHEDULE

MARK	LOCATION	AREA AND/OR BLDG SERVED	SYSTEM AND/OR SERVICE	TYPE	CIRCULATING FLUID					MIN % EFF	ELECTRICAL MOTOR				
					FLUID	FLOW	HEAD	NPSH AVAILABLE	TEMPERATURE		NOMINAL POWER (HP)	PHASE	VOLT	R.P.M.	SPEED CONTROL
CP-1	MECHANICAL RM	BLDG 69	HOT WATER	CIRCULATOR	WATER	2.0 GPM	2.0 ftH2O	2.0 ftH2O	120 °F	NA	1/40 HP	1	115	3250	NO

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER: Bray Mooney Consulting

Project Number: 3627

Scale:

Drawing Title: PLUMBING SCHEDULES

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date: 03/29/13 | Checked: DJR | Drawn: ORD

VA Project Number: 542-CSI-203

Building Number: 69

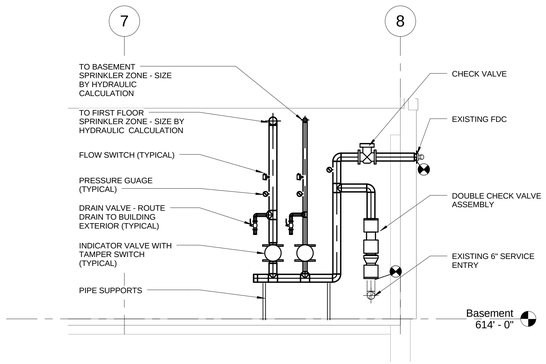
Drawing Number: PP601

Dwg. 65 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



3 FIRE RISER DETAIL
1/4" = 1'-0"

FIRE PROTECTION SYMBOLS

- RECESSED PENDENT SPRINKLER HEAD
- UPRIGHT SPRINKLER HEAD
- NEW SPRINKLER PIPE

DEDUCT ALTERNATES

ALT #1 — ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3ft deep reinforced concrete footings (see structural). Provide metal panel fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 — ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Add one (1) wythe brick and precast concrete cap to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 — ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigid insulation at exterior side of CMU.

ALT #5 — ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 — ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 — ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5" deep by 6' wide sidewalk on compacted fill with turned down edge at South and Southwest sides. Provide 2.5" OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 — ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 — ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide ventilation supply and exhaust ductwork demolition and installation.

FIRE SUPPRESSION GENERAL NOTES

1 SCOPE OF WORK IS TO REPLACE THE SPRINKLER SYSTEM IN BUILDING 69. THE SPRINKLER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13, LATEST EDITION, GOVERNMENT REGULATIONS, AND PROJECT DOCUMENTS. SEE SPECIFICATION SECTION 211313.

2 ALL PIPING AND APPURTENANCES SHOWN FOR DIAGRAMMATIC PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING AND INSTALLING A SYSTEM THAT COMPLIES WITH NFPA 13, GOVERNMENT REGUALTATIONS, AND PROJECT DOCUMENTS.

3 THE HAZARD CLASSIFICATIONS OF THE BUILDING INCLUDE LIGHT HAZARD (PATIENT CARE AND TREATMENT AREAS), ORDINARY HAZARD GROUP 1 (MECHANICAL EQUIPMENT ROOMS), AND ORDINARY HAZARD GROUP 2 (STORAGE, CLEAN, AND SOILED UTILITY ROOMS).

4 ALL NEW SPRINKLER SYSTEMS SHALL BE DESIGNED USING THE AREA/DENSITY METHOD OF NFPA 13, LATEST ED.

5 QUICK RESPONSE SPRINKLERS SHALL BE USED THROUGHOUT AS STIPULATED BY NFPA 13. COVERAGE PER SPRINKLER SHALL BE IN COMPLIANCE WITH NFPA 13, LATEST EDITION. USE OF EXTENDED COVERAGE SPRINKLERS SHALL NOT BE PERMITTED.

6 THE SPRINKLER SYSTEM SHALL BE FED FROM THE EXISTING ENTRY POINT IN THE BASEMENT.

7 ALL PIPING 2-1/2 INCH THROUGH 6 INCH MAY BE SCHEDULE 10. ALL PIPE LARGER THAN 6 INCH SHALL BE GALVANIZED. ALL PIPING 2 INCH AND SMALLER SHALL BE SCHEDULE 40. CPVC PIPING IS NOT ALLOWED.

8 ALL EXPOSED PIPING SHALL BE PAINTED IN ACCORDANCE WITH PAINTING SPEC.

9 ALL MATERIALS USED SHALL BE UL LISTED AND FM APPROVED FOR FIRE PROTECTION SERVICE. SPRINKLERS MUST BE FM APPROVED

10 THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD PRIOR TO PENETRATION OF ANY STRUCTURAL MEMBER. CONTRACTOR SHALL FORWARD A COPY OF THE APPROVAL TO THE FIRE PROTECTION ENGINEER OF RECORD. IN ADDITION, ALL SEISMIC CALCULATIONS SHALL BE REVIEWED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO SUBMITTAL.

11 SPRINKLER PIPING SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS WITH APPROVED HANGERS, OR HANGER SYSTEM, SPACED AS PRESCRIBED BY NFPA 13, LATEST EDITION.

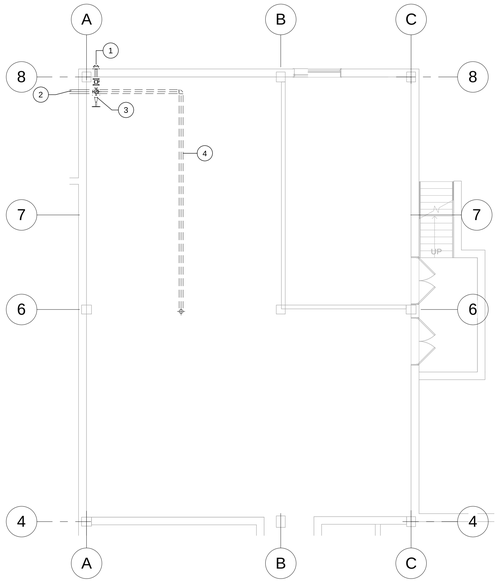
12 PIPE VALVES AND FITTINGS USED IN THE SPRINKLER SYSTEM SHALL BE DESIGNED TO WITHSTAND NOT LESS THAN 175 PSI COLD WATER PRESSURE.

13 ALL SPRINKLER SYSTEM INSTALLATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES PRIOR TO FABRICATION AND INSTALLATION. SYSTEM SHALL BE CONFIGURED SO THAT SPRINKLER DISCHARGE IS NOT AFFECTED BY OBSTRUCTIONS SUCH AS BEAMS, DUCTWORK, AND LIGHT FIXTURES.

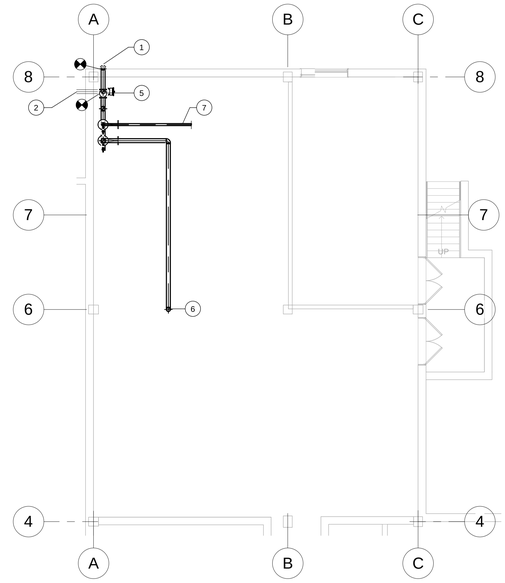
14 PIPE SLEVES THROUGH FLOOR AND WALLS SHALL BE SIZED BY SPRINKLER CONTRACTOR STRICKLY IN ACCORDANCE WITH SECTION 9.3.4 OF NFPA 13, LATEST EDITION. GAPS AND VOID SPACES SHALL BE SEALED AROUND THE PIPE SLEEVE AND SYSTEM PIPE WITH A UL LISTED TWO-HOUR FIRE RATE THRU STOP PENETRATING SYSTEM WHERE RATED WALLS AND FLOORS ARE PENETRATED.

15 SPRINKLERS SHALL NOT BE PAINTED.

KEY	NOTE
1	EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
2	EXISTING 6" FIRE PROTECTION WATER SERVICE ENTRANCE TO REMAIN.
3	EXISTING FIRE RISER TO BE REMOVED TO THE POINT OF FLANGED CONNECTION OF SERVICE ENTRANCE.
4	EXISTING SPRINKLER MAIN AND ASSOCIATED BRANCH PIPING TO BE REMOVED COMPLETE.
5	FIRE RISER. SEE DETAIL 3/F-101
6	SPRINKLER MAIN UP TO FIRST FLOOR
7	SPRINKLER MAIN TO BASEMENT SPRINKLER ZONE



1 BASEMENT FIRE SUPPRESSION DEMOLITION PLAN
1/8" = 1'-0"



2 BASEMENT FIRE SUPPRESSION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED
ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: GENERAL NOTES, LEGEND AND BASEMENT FIRE SUPPRESSION PLANS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	DJR	DJR

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: F-101

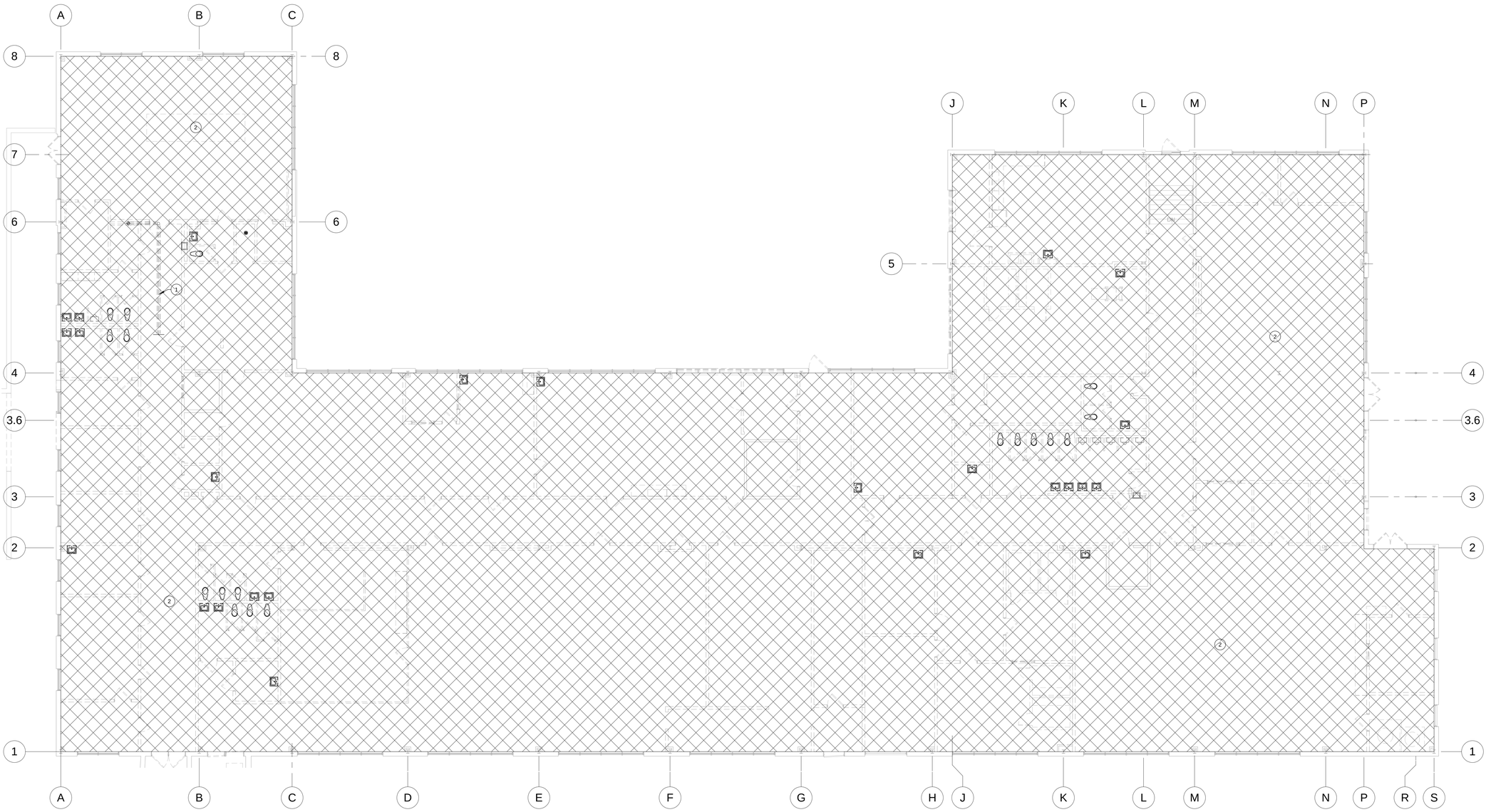
Dwg. 66 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING SPRINKLER MAIN TO BE REMOVED COMPLETE
2	EXISTING SPRINKLER SYSTEM TO BE REMOVED COMPLETE INCLUDING BRANCH PIPING, SPRINKLER HEADS, PIPE HANGERS, FIRE HOSE CABINETS, ETC.



1 1st FLOOR FIRE SUPRESSION DEMOLITION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
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PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR FIRE SUPPRESSION DEMOLITION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	DJR	DJR

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: FD101

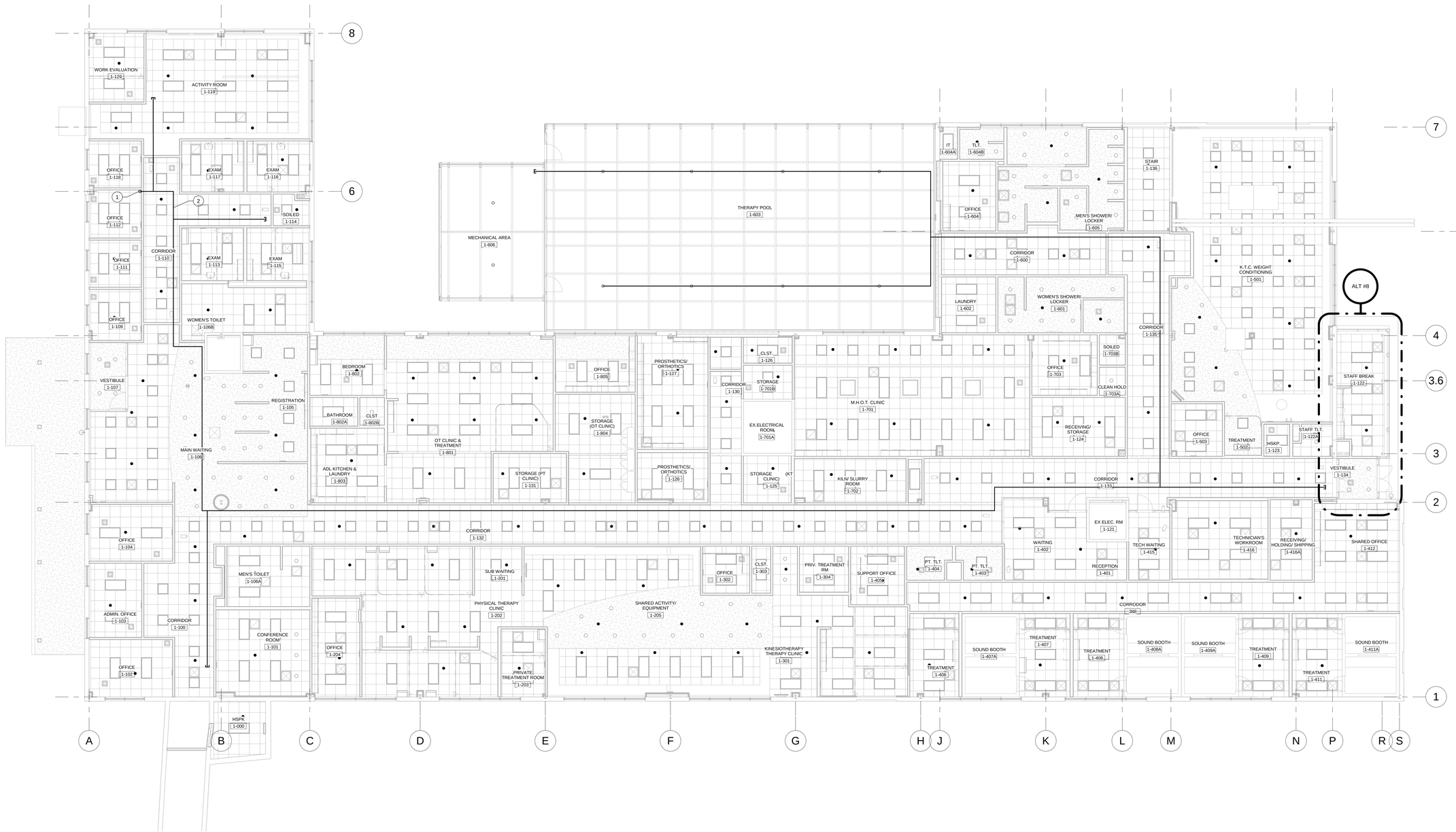
Dwg. 67 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	SPRINKLER MAIN FROM BELOW
2	TO FIRST FLOOR SPRINKLER ZONE. SIZE BY HYDRAULIC CALCULATION.



1 1st FLOOR FIRE SUPRESSION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant	Associate Architects
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING	W. COOK ARCHITECTS
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	P.O. BOX 24 40 LITTLE ROAD ZIEGLERVILLE, PA, 19492 Tel (610) 287-3194	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409	1251 ROMANSVILLE ROAD COATESVILLE, PA, 19320 Tel (610) 383-4460

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR FIRE SUPPRESSION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	DJR	DJR

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: FX101

Dwg. 68 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

DEDUCT ALTERNATES

ALT #1 — ALTERNATE NO. 1: WEST ENTRANCE CANOPY
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck (exposed below-painted) on steel frame (exposed and painted) on 3ft deep reinforced concrete footings. (see structural). Provide metal panel fascia (similar to new East side, ALT. No. 6). Radiant heat topping slab under canopy to include entrance slab, stairs and ramp.

ALT #3 — ALTERNATE NO. 3: BRICK WEARING FACE ON NEW RETAINING WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Add one (1) wythe brick and precast concrete cap to proposed concrete retaining wall at North wall of Pool Equipment Room and West and North walls of Pool Enclosure Base.

ALT #4 — ALTERNATE NO. 4: BRICK GABLE END WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Replace proposed polycarbonate envelope at West end with one (1) wythe brick exterior and one (1) wythe brick grille interior on each side of reinforced 8" CMU wall with reinf. Bond beam at 12' AFF. Provide 2" rigid insulation at exterior side of CMU.

ALT #5 — ALTERNATE NO. 5: WEIGHT CONDITIONING FIT OUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide all interior walls, flooring, and finishes for W.T. Suite. Area to include electrical and plumbing fixtures and connections.

ALT #6 — ALTERNATE NO. 6: STAFF BREAK ROOM & EAST ENTRY VESTIBULE
PROJECT TO INCLUDE ALL WORK EXCEPT:

EPDM roof on tapered insulation on ribbed metal deck on existing steel channel frame. Provide aluminum storefront window system enclosure. Provide metal panel fascia and soffit. Provide second set of storefront entrance doors. See document set for plans, section, exterior elevations, and interior finishes.

ALT #7 — ALTERNATE NO. 7: EAST ENTRANCE RAMP AND WALL
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide 10" reinforced concrete wall at North and Northeast sides of new entrance ramp. Provide 5' deep by 6' wide sidewalk on compacted fill with turned down edge at South and Southwest sides. Provide 2.5" OD painted steel pipe rail with stainless steel mesh infill on top of new concrete wall (rail and mesh one side only). See document set for plan, section, and exterior elevations.

ALT #8 — ALTERNATE NO. 8: AUDIOLOGY FITOUT
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide interior walls, flooring, and finishes for Audiology Suite. Area to include electrical and plumbing fixtures and connections.

ALT #9 — ALTERNATE NO. 9: VENTILATION DUCTWORK
PROJECT TO INCLUDE ALL WORK EXCEPT:

Provide ventilation supply and exhaust ductwork demolition and installation.

ELECTRICAL LEGEND

	120V DUPLEX RECEPTACLE: 18" AFF STANDARD
GFI	120V DUPLEX RECEPTACLE: GFI 18" AFF STANDARD
GFI 44" AFF	120V DUPLEX RECEPTACLE: GFI 44" AFF STANDARD
GFI 48" AFF	120V DUPLEX RECEPTACLE: GFI 48" AFF STANDARD
GFI WP	120V DUPLEX RECEPTACLE: WEATHERPROOF GFI
R GFI	120V DEDICATED DUPLEX RECEPTACLE: REFRIGERATOR GFI
M	120V DEDICATED DUPLEX RECEPTACLE: MICROWAVE
T	120V DEDICATED DUPLEX RECEPTACLE: TREADMILL 18" AFF STANDARD
DW	120V DEDICATED DUPLEX RECEPTACLE: DISHWASHER 18" AFF STANDARD
W	120V DEDICATED DUPLEX RECEPTACLE: WASHER 44" AFF STANDARD
GFI WC	120V DEDICATED DUPLEX RECEPTACLE: WATER COOLER
	120V QUADRUPLEX RECEPTACLE: 18" AFF STANDARD
GFI	120V QUADRUPLEX RECEPTACLE: GFI 18" AFF STANDARD
D	220V DEDICATED RECEPTACLE: DRYER 44" AFF STANDARD
	DATA/TELCO OUTLET: 18" AFF STANDARD UNO; SEE DETAIL 10/E-501
	DATA OUTLET: 18" AFF STANDARD UNO
	WALL TELCO OUTLET: 48" AFF STANDARD UNO
TV	TELEVISION - CATV
	DISCONNECT SWITCH NON-FUSED
	DISCONNECT SWITCH FUSED
$	SINGLE POLE WALL SWITCH: 44" AFF STANDARD UNO
$$	TWO GANG SINGLE POLE WALL SWITCH: 44" AFF STANDARD UNO
$3	THREE WAY WALL SWITCH: 44" AFF STANDARD UNO
3$$3	TWO GANG THREE WAY WALL SWITCH: 44" AFF STANDARD UNO
$4	FOUR WAY WALL SWITCH: 44" AFF STANDARD UNO
$D	DIMMER WALL SWITCH: 44" AFF STANDARD UNO
$M	MOTOR RATED SWITCH: 44" AFF STANDARD UNO
CR	CARD READER: 46" AFF STANDARD UNO
KP	KEY PAD: 46" AFF STANDARD UNO
S	SPEAKER
B	BELL
	CAMERA
PB	PANIC BUTTON: 46" AFF STANDARD UNO

ABBREVIATIONS

1PH	SINGLE-PHASE
1P	SINGLE POLE
2/C	TWO-CONDUCTOR
3/C	THREE-CONDUCTOR
3PH	THREE-PHASE
4/C	FOUR-CONDUCTOR
4W	FOUR-WIRE
A/C UNIT	AIR CONDITIONING UNIT
A/E	ARCHITECT/ENGINEER
AAP	ALARM ANNUNCIATOR PANEL
AC	ALTERNATING CURRENT OR ARMORED CABLE
ACC	ACCESSIBLE
ADDL	ADDITIONAL
ADJ	ADJACENT, ADJOINING
ADO	AUTOMATIC DOOR OPENER
AF	AMPERE FRAME OR AMP FUSE
AFC	ABOVE FINISHED COUNTER, AUTOMATIC FREQUENCYCONTROL, OR AVAILABLE FAULT CURRENT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AH	AMPERE HOUR
AHJ	AUTHORITY HAVING JURISDICTION
AIC	AMPERE INTERRUPTING CAPACITY
ALT	ALTERNATE
AMB OR A	AMBIENT
AMP	AMPERE
ARCH	ARCHITECT
ASC	AMPS SHORT CIRCUIT
AT	AMPERE TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AV	AUDIO VISUAL
BAT	BATTERY
BC	BARE COPPER
BD	BOARD
BFF	BELOW FINISH FLOOR
BIL	BASIC INSULATION LEVEL
BLDG	BUILDING
BPIP	BOILER PLANT INTRUMENTATION PANEL
BRKR	BREAKER
BYP	BY PASS
C	CONDUIT
CAB	CABINET
CALC	CALCULATE
CAP	CAPACITY
CAT	CATALOG
CATV	COMMUNITY ANTENNA TELEVISION
CCR	CONTROL CONTACTOR
CCTV	CLOSED CIRCUIT TELEVISION
cd	CANDELA
CD	CONSTRUCTION DOCUMENTS
CF	CONTRACTOR FURNISHED
CFE	CONTRACTOR FURNISHED EQUIPMENT
CHW	CHILLED WATER
CHWP	CHILLED WATER PUMP
CKT	CIRCUIT
CKT BRKR	CIRCUIT BREAKER
CLF	CURRENT LIMITING FUSE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COAX	COAX CABLE
COMM	COMMUNICATION
COMPT	COMPARTMENT
CONC	CONCRETE
CONT	CONTINUE
CONTR	CONTRACTOR
COORD	COORDINATE
CPT	CONTROL POWER TRANSFORMER
CRI	COLOR RENDERING INDEX
CT	CURRENT TRANSFORMER
CTV	CABLE TELEVISION
CU	COPPER
CU FT	CUBIC FEET
CUR	CURRENT
DB	DECIBEL OR DIRECT BURIAL
DC	DIRECT CURRENT
DCP	DIMMER CONTROL PANEL
DEG C	DEGREES CELSIUS
DEG F	DEGREES FAHRENHEIT
DEMO	DEMOLITION
DIAG	DIAGRAM
DISC	DISCONNECT
DISTR	DISTRIBUTION
DISTR PL	DISTRIBUTION PANEL
DMR SW	DIMMER SWITCH
DN	DOWN
DPDT	DOUBLE POLE, DOUBLE THROW
DPST	DOUBLE POLE, SINGLE THROW
DRSW	DOOR SWITCH
DS	DISCONNECT SWITCH
DWG	DRAWING
EC	EMPTY CONDUIT
EG	EQUIPMENT GROUND
EL	ELEVATION
ELEC	ELECTRIC OR ELECTRICAL
ELEV	ELEVATOR
EMCP	EMERGENCY MONITORING CONTROL PANEL
EMER	EMERGENCY
EMI	ELECTROMAGNETIC INTERFERENCE
EMT	ELECTRICAL METALLIC TUBING
ENCL	ENCLOSURE
EPO	EMERGENCY POWER OFF
EPRF	EXPLOSION PROOF
ESMT	EASMENT
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
EXIST	EXISTING
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FABL	FIRE ALARM BELL
FABX	FIRE ALARM BOX
FACP	FIRE ALARM CONTROL PANEL
FC	FOOTCANDLE
FCU	FAN COIL UNIT
FI	FILM ILLUMINATOR
FIXT	FIXTURE
FLT	FLOODLIGHT
FLUOR	FLUORESCENT
FLUOR FIX	FLUORESCENT FIXTURE
FT	FEET OR FOOT
FU SW	FUSED SWITCH
FVNR	FULL VOLTAGE NON-REVERSING
FVR	FULL VOLTAGE REVERSING
G OR GND	GROUND
GEN	GENERATOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTOR
GTB	GROUND TERMINAL BOX
HFCU	HORIZONTAL FAN COIL UNIT
HID	HIGH INTENSITY DISCHARGE
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HT	HEIGHT
HZ	HERTZ
IESNA	ILLUMINATION ENGINEERING SOCIETY OF NORTH AMERICA
IMC	INTERMEDIATE METAL CONDUIT
INCAND	INCANDESCENT
IR	INFRARED
IWH	INSTANTANEOUS WATER HEATER
J-BOX	JUNCTION BOX
kV	KILOVOLT
kVA	KILOVOLT AMPERE
kVAH	KILOVOLT AMPERE PER HOUR
kVAR	KILOVOLT AMPERE REACTIVE
kW	KILOWATT
kWH	KILOWATT HOUR
kwHM	KILOWATT HOUR METER
LED	LIGHT EMITTING DIODE
LF	LINEAR FEET (FOOT)
LM	LUMEN
LP	LIGHT POLE
LPS	LOW PRESSURE SODIUM
LRA	LOCKED ROTAR AMPS
LTCP	LOCAL TEMPERATURE CONTROL PANEL
LT	LIGHT
LTG	LIGHTING
LTG PNL	LIGHTING PANEL
LTNG	LIGHTNING
LV	LOW VOLTAGE
MATV	MASTER ANTENNA TELEVISION SYSTEM
MAX	MAXIMUM
MC	METAL-CLAD
MCA	MINIMUM CIRCUIT AMPS
MCB	MINIMUM CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MECH	MECHANICAL
MG	MOTOR GENERATOR
MH	MANHOLE
MIN	MINIMUM
MOCP	MAXIMUM OVERCURRENT PROTECTION
MLO	MAIN LUGS ONLY
MT	MOUNT
MTD	MOUNTED
MTG	MOUNTING
MTS	MANUAL TRASNFER SWITCH
MV	MEDIUM VOLTAGE
MVA	MEGAVOLT-AMPERE
MW	MEGAWATT MICROWAVE
NA	NOT APPLICABLE
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NEUT OR N	NEUTRAL
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NORMALLY OPEN
NS	NO SCALE
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OL	OVERLOAD
P	POLE
PA	PUBLIC ADDRESS
PB	PANELBOARD, PULL BOX, OR PUSHBUTTON
PBPU	PREFABRICATED BEDSIDE PATIENT UNIT
PCB	POLYCHLORINATED BIPHENYL
PEC	PHOTOELECTRIC CELL
PED	PEDESTAL
PEND	PENDANT
PF	POWER FACTOR
PH	PHASE
PNL	PANEL
POD	POWER OPERATED DAMPER
PT	POTENTIAL TRANSFORMER
PTRV	POWER TYPE ROOF VENTILATION
PVC	POLYVINYL CHLORIDE (PLASTIC)
PWR	POWER
RCP	REFLECTED CEILING PLAN
REC	RECESSED
RECEPT	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
RM	ROOM
RMS	ROOT MEAN SQUARE
REQD	REQUIRED
SCC	SHORT CIRCUIT CAPACITY
SES	SERVICE ENTRANCE SECTION
SD	SMOKE DETECTOR
SF	SQUARE FOOT (FEET)
SHT	SHEET
SI	INTERNATIONAL SYSTEM OF UNITS
SPEC	SPECIFICATION
SPST	SINGLE POLE, SINGLE THROW
SURF	SURFACE
SW	SWITCH
SWBD	SWITCHBOARD
SWGR	SWITCHGEAR
TC	TIMECLOCK
TEL	TELEPHONE
TP	TWISTED PAIR
TPS	TWISTED PAIR SHIELDED
TTB	TELEPHONE TERMINAL BOARD
TV	TELEVISON
TYP	TYPICAL
UFD	UNDERFLOOR DUCT
UGND	UNDERGROUND
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SUPPLY
UTIL	UTILITY
V	VOLT
VA	VOLT AMPERE
VAR	VOLT AMPERE REACTIVE
VFCU	VERTICAL FAN COIL UNIT
VFD	VARIABLE FREQUENCY DRIVE
VOLT	VOLTAGE
W	WATT
WH	WATER HEATER
WP	WEATHERPROOF
XFER	TRANSFER
XFMR	TRANSFORMER

GENERAL NOTES

1. ALL ELECTRICAL DEVICES, FIXTURES, EQUIPMENT AND FEEDERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE MANUFACTURER'S RECOMMENDED PROCEDURES, ALL APPLICABLE LOCAL AND STATE CODES, AMERICAN DISABILITIES ACT AND WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. PROVIDE ADDITIONAL SUPPORT FOR DEVICES, FIXTURES, EQUIPMENT AND FEEDERS WHERE THE BUILDING CONSTRUCTION IS NOT SUITABLE FOR DIRECT MOUNTING.
3. FIRESTOP, DRAFTSTOP, SMOKESTOP AND/OR PROTECT THE ANNULAR SPACE AROUND ALL PENETRATIONS THROUGH WALLS, PARTITIONS, FLOORS, CEILING, AND ROOFS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UL LISTING REQUIREMENT AND THE APPLICABLE BUILDING CODES.
4. VERIFY CEILING SYSTEMS AND PROVIDE MOUNTING ACCESSORIES, TRIMS AND ALL REQUIRED MOUNTING HARDWARE TO SUIT THE PARTICULAR INSTALLATION.
5. PROTECT EXISTING UNDERGROUND AND BUILDING INTERIOR UTILITIES DURING CONSTRUCTION.
6. BRANCH CIRCUIT CONDUCTORS SHALL BE 12 AWG COPPER MINIMUM.
7. COORDINATE ANY AND ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION SO AS TO AVOID CONFILCT DURING ONSTRUCTION.
8. ALL PANELS SHALL HAVE TYPED, COMPLETED DIRECTORIES INDICATING EQUIPMENT SERVED AND ROOM NUMBER (AS INDICATED ON FINAL BUILDING ROOM SIGNAGE) OF EQUIPMENT LOCATION, OR SPARE, OR SPACE.
9. MANUFACTURER'S NAME AND MODEL NUMBER ARE GIVEN FOR DESCRIPTIVE PURPOSES, TO INDICATE A QUALITY STANDARD AND ARE NOT INTENDED TO LIMIT PRODUCTS TO A PARTICULAR MANUFACTURER. PRODUCTS DEEMED EQUAL AND APPROVED BY THE DESIGNER WILL BE ACCEPTED. ALL PRODUCTS MUST COMPLY WITH "BUY AMERICAN ACT".
10. ALL FEEDERS AND CIRCUITRY SHALL BE TORQUED PER THE PANEL, BREAKER, AND/OR PARTICULAR EQUIPMENT MAUNFACTURER'S SPECIFICATIONS.
11. CIRCUITRY TO SWITCHES, RECEPTACLES, AND ALL OTHER DEVICES SHALL BE TERMINATED ON THE DEVICE'S SCREW TERMINALS.
12. MOUNTING HEIGHTS INDICATED ARE TO CENTER OF DEVICE, OUTLET, FIXTURE, OR EQUIPMENT UNLESS NOTED OTHERWISE.
13. ALL WIRE TERMINATIONS SHALL BE RATED FOR 75 DEGREE C.
14. ALL CONDUCTORS SHALL HAVE THHN/THWN INSULATION, UNLESS OTHERWISE NOTED.
15. ALL CONDUIT SHALL BE RGS, EMT, OR LFMC UNLESS OTHERWISE NOTED. FMC CONDUIT MAY BE USED ON VIBRATING EQUIPMENT.
16. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY.
17. UNDERGROUND CONDUIT SHALL BE BURIED PER TABLE 300.5 OF THE 2011 NEC.

BUILDING CODE DATA

ELECTRICAL SYSTEM AND EQUIPMENT — ENERGY COST BUDGET

METHOD OF COMPLIANCE: PRESCRIPTIVE — PERFORMANCE

LIGHTING SCHEDULE
- LAMP TYPE REQUIRED IN FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE
- NUMBER OF LAMPS IN FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE
- BALLAST TYPE USED IN THE FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE
- NUMBER OF BALLASTS IN FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE
- TOTAL WATTAGE PER FIXTURE: REFER TO LIGHT FIXTURE SCHEDULE
- TOTAL INTERIOR WATTAGE SPECIFIED VS. ALLOWED: 28,929 W SPECIFIED VS. 29,782 W ALLOWED
- TOTAL EXTERIOR WATTAGE SPECIFIED VS. ALLOWED: 858 W SPECIFIED VS. 1,352 W ALLOWED

EQUIPMENT SCHEDULES WITH MOTORS (NOT USED FOR MECHANICAL SYSTEMS)
- MOTOR HORSEPOWER: N/A
- NUMBER OF PHASES: N/A
- MINIMUM EFFICIENCY: N/A
- MOTOR TYPE: N/A
- NUMBER OF POLES: N/A

DESIGNER STATEMENT:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF ANSI/ASHRAE/IESNA STANDARD 90.1-2007.

NAME: CHARLES G. SOWDERS III
TITLE: PROFESSIONAL ENGINEER

LIGHT FIXTURE SCHEDULE

SYMBOL	LABEL	# OF LAMPS	TYPE OF LAMP	BALLAST	WATTS/ FIXTURE	VOLTAGE	DESCRIPTION
	A2	2	28W T5 3500K	1 PROGRAM START 1.0 BF	64	277	2' X 4' RECESSED DIRECT/INDIRECT FLUORESCENT
	A2D	2	28W T5 3500K	1 RAPID START DIMMING 1.0 BF	64	277	2' X 4' RECESSED DIRECT/INDIRECT FLUORESCENT WITH DIMMING BALLAST
	A3	3	28W T5 3500K	2 PROGRAM START 1.0 BF	95	277	2' X 4' RECESSED DIRECT/INDIRECT FLUORESCENT
	B2	2	14W T5 3500K	1 PROGRAM START 1.0 BF	32	277	2' X 2' RECESSED DIRECT/INDIRECT FLUORESCENT
	B2D	2	14W T5 3500K	1 RAPID START DIMMING 1.0 BF	32	277	2' X 2' RECESSED DIRECT/INDIRECT FLUORESCENT WITH DIMMING BALLAST
	B3	3	14W T5 3500K	1 PROGRAM START 1.0 BF	50	277	2' X 2' RECESSED DIRECT/INDIRECT FLUORESCENT
	C2	2	28W T5 3500K	1 PROGRAM START 1.0 BF	64	277	2' X 4' RECESSED PRISMATIC LENSED TROFFER FLUORESCENT
	C3	3	28W T5 3500K	2 PROGRAM START 1.0 BF	95	277	2' X 4' RECESSED PRISMATIC LENSED TROFFER FLUORESCENT
	D4	4	28W T5 3500K	2 PROGRAM START 1.0 BF	126	277	2' X 4' RECESSED DIRECT/INDIRECT FLUORESCENT WITH SIDE MOUNT DIFFUSERS
	E	2	28W T5 3500K	1 PROGRAM START	62	277	4' FLUORESCENT STRIP LIGHT
	EMR	LED	LED	---	1	277	EXTERIOR EMERGENCY EGRESS LIGHT FIXTURE SUITABLE FOR WET AND COLD LOCATIONS
	EXA	LED	LED	---	1	277	SINGLE-FACE LED EMERGENCY EXIT SIGN WITH DIRECTIONAL INDICATOR
	EXB	LED	LED	---	1	277	DOUBLE FACE LED EMERGENCY EXIT SIGN WITH DIRECTIONAL INDICATOR
	F	1	26W TRT 3500K	1 PROGRAM START	29	277	6" OPEN RECESSED HORIZONTAL COMPACT FLUORESCENT DOWNLIGHT
	G	1	42W TRT 3500K	1 PROGRAM START	46	277	8" LENSED RECESSED HORIZONTAL COMPACT FLUORESCENT DOWNLIGHT SUITABLE FOR WET LOCATIONS
	H	1	28W T5 3500K	1 PROGRAM START COLD WEATHER	32	277	EXTERIOR 4' ROUGH SURFACE MOUNT LINEAR FLUORESCENT WITH COLD WEATHER BALLAST, SUITABLE FOR WET LOCATIONS
	I	1	50W PSMH 3500K	1 PULSE START	67	277	EXTERIOR PULSE START METAL HALIDE BOLLARD LIGHT FIXTURE
	J	1	150W PSMH 3500K	1	166	277	16" PENDENT MOUNTED POOL LIGHT FIXTURE WITH GLASS LENS SUITABLE FOR NATATORIUM
	K2	2	14W T5 3500K	1 PROGRAM START 1.0 BF	32	277	2' LINEAR FLUORESCENT WALL BRACKET
	K4	2	28W T5 3500K	1 PROGRAM START 1.0 BF	64	277	4' LINEAR FLUORESCENT WALL BRACKET
N/A	L	1 OR 2	T5 3500K	1 INSTANT START	8 W/FT	120	LINEAR FLUORESCENT UNDERCABINET LIGHT. COORDINATE LENGTHS AND MOUNTING WITH CABINETRY AND ARCHITECTURAL DRAWINGS.
N/A	M	LED	LED 3500K	1 LED DRIVER	8 W/FT	120	LINEAR LED SOFFIT LIGHT. COORDINATE LENGTHS AND MOUNTING WITH ARCHITECTURAL DRAWINGS.
	N	LED	LED 3500K	1 LED DRIVER	26	277	EXTERIOR LED WALL PACK

NOTES:
1. EM - EMERGENCY LIGHT (CIRCUITED FROM NORMAL AND EMERGENCY BACK-UP POWER). EM NL - UN-SWITCHED NIGHT LIGHT (CIRCUITED FROM EMERGENCY POWER).
3. ALL FLUORESCENT LIGHT FIXTURES MUST HAVE INDIVIDUAL DISCONNECTING MEANS LOCATED AT EACH FIXTURE.
4. ALL LIGHTING SHALL BE DAYLIGHT COLOR SPECTRUM.
5. VERIFY ALL LIGHT FIXTURE MOUNTING TYPES AND COLORS WITH ARCHITECT.

FULLY SPRINKLERED

ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: ELECTRICAL NOTES, ABBREVIATIONS, LEGENDS AND LIGHT FIXTURE SCHEDULE

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: E-001

Dwg. 69 of 86

Office of Facilities Management

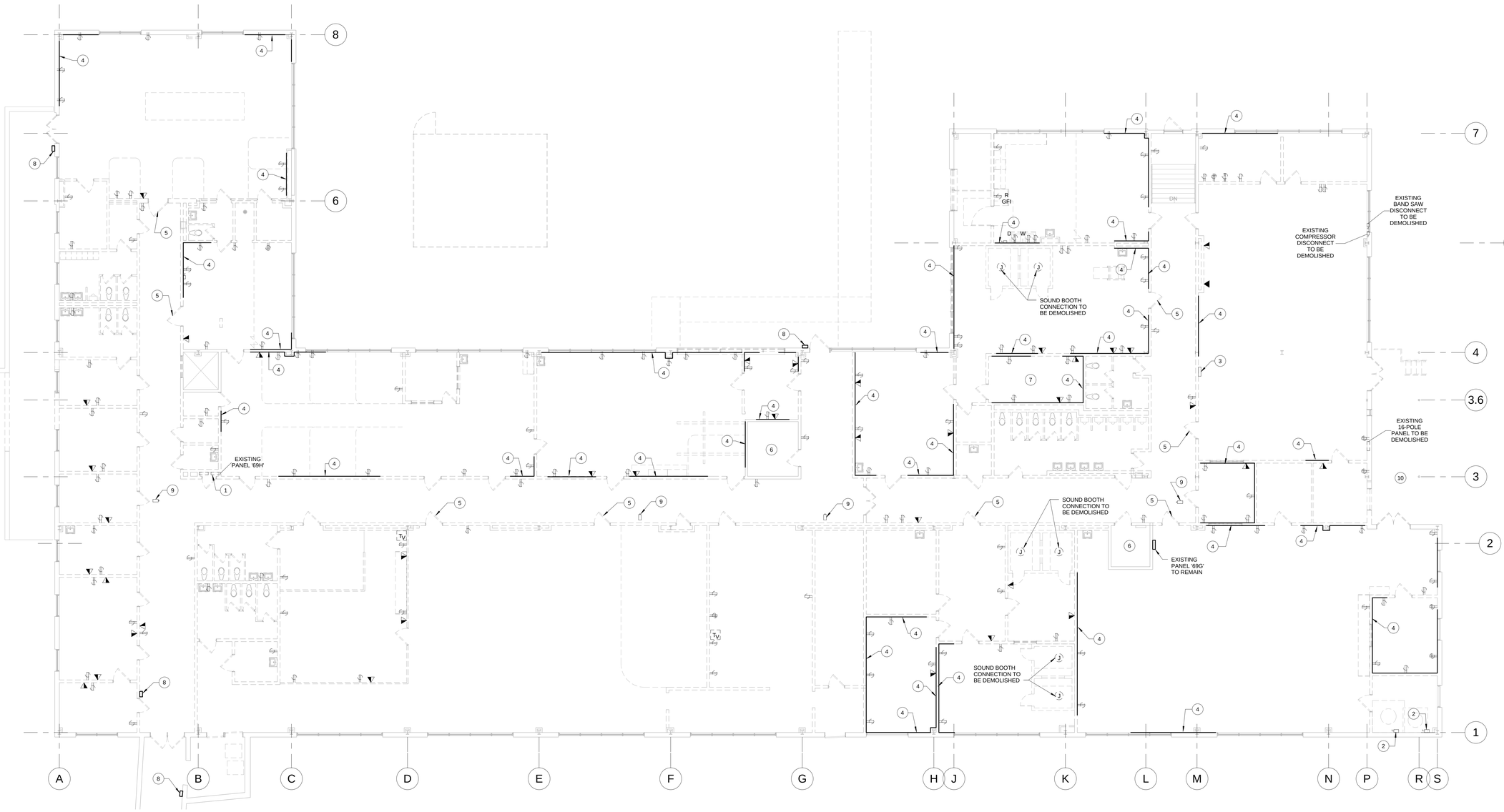
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING PANEL '69H' SHALL BE RELOCATED TO MECHANICAL AREA 1-606. SEE 1/E-102 FOR NEW LOCATION.
2	EXISTING KILNS TO BE RELOCATED. RECONNECT AS SHOWN ON E-102.
3	EXISTING PANEL '69F' TO REMAIN. SEE NOTES E-102.
4	ELECTRICAL WIREMOLD OR WIRE TROUGH TO BE DEMOLISHED.
5	AUTOMATIC DOOR OPENER TO BE DEMOLISHED.
6	EXISTING EQUIPMENT IN ROOM TO REMAIN.
7	PANIC ALARM TO DEMOLISHED AND TURNED OVER TO THE OWNER.
8	ADA AUTOMATIC DOOR HARDWARE TO BE DEMOLISHED.
9	DEMOLISH EXISTING SECURITY CANERA, TO BE RELOCATED.
10	DEMOLISH EXISTING AIR COMPRESSOR ELECTRICAL CONNECTION AT EXISTING LOADING DOCK.

1ST FLOOR ELECTRICAL DEMOLITION PLAN NOTES:

1. DEMOLISH ALL ELECTRICAL CONDUCTORS AND CONDUIT BACK TO PANELBOARD FOR ALL DEVICES. MARK EXISTING UNUSED OVERCURRENT PROTECTION DEVICES AS "SPARE". REVISE PANEL SCHEDULES TO REFLECT NEW WIRING.
2. CONTRACTOR SHALL REUSE EXISTING FIRE ALARM DEVICES IF NOT DAMAGED DURING DEMOLITION.
3. CONTRACTOR SHALL NOT LEAVE ANY UNUSED ELECTRICAL DEVICES ABANDONED IN PLACE. ALL ELECTRICAL DEVICES MUST BE REMOVED.
4. EXISTING EQUIPMENT, SUCH AS LIGHTING FIXTURES, WIRING DEVICES, CONDUITS, ETC., TO BE REMOVED COMPLETELY. CUT/CAP CONDUITS AT THE AREA OF WORK PERIMETER AND REMOVE CONDUIT WITHIN THE WORK AREA. DISCONNECT WIRING AT THE OVERCURRENT PROTECTIVE DEVICE AND REMOVE WIRING COMPLETELY FROM THE ABANDONED CONDUITS.
5. REMOVE ALL ACCESSIBLE ABANDONED WIRING OF ALL TYPES, OR CAP AND LABEL IN JUNCTION BOX FOR RE-USE, IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE.
6. MAINTAIN AND RESTORE ANY EXISTING SYSTEMS THAT WILL REMAIN IN USE DURING DEMOLITION OR CONSTRUCTION. IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS AND SERVICING UNDISTURBED AREAS.
7. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION. DEVICES SHOWN ARE NOT ALL INCLUSIVE, CONTRACTOR SHALL VERIFY IN FIELD EXTENT OF ALL DEMOLITION.



1 1ST FLOOR ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5599	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR ELECTRICAL DEMOLITION PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: ED101

Dwg. 70 of 86

Office of Facilities Management

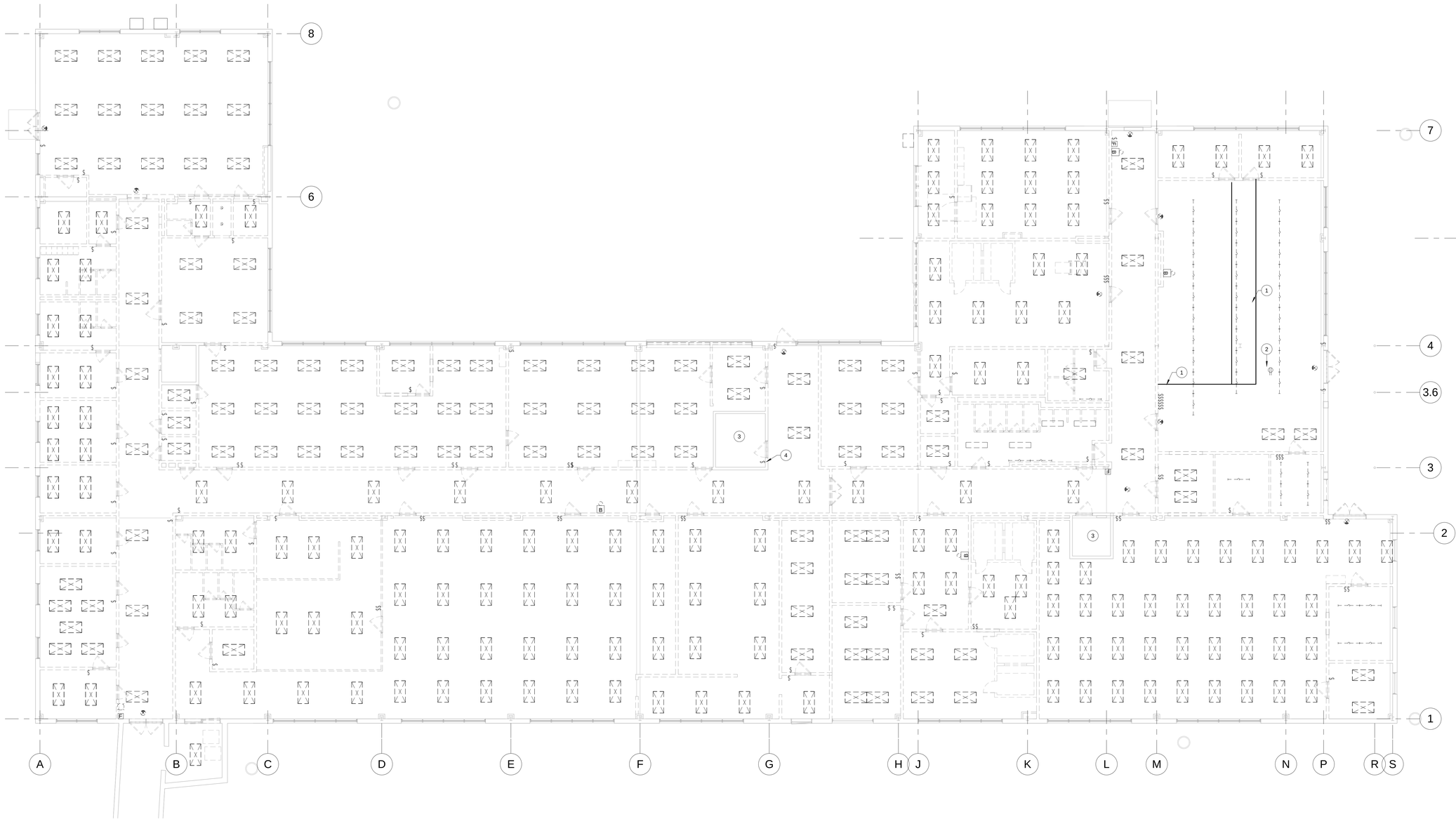
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING CEILING MOUNTED TROUGH TO BE DEMOLISHED.
2	EXISTING CEILING MOUNTED RECEPTACLE TO BE DEMOLISHED.
3	EXISTING LIGHTING TO REMAIN.
4	EXISTING LIGHT SWITCH TO BE RELOCATED TO COORDINATE WITH NEW DOOR SWING. TIE TO EXISTING LIGHT FIXURES AND CIRCUIT.

1ST FLOOR LIGHTING DEMOLITION PLAN NOTES:

1. DEMOLISH ALL ELECTRICAL CONDUCTORS AND CONDUIT BACK TO PANELBOARD FOR ALL DEVICES SHOWN ON THIS PLAN. MARK EXISTING UNUSED OVERCURRENT PROTECTION DEVICES AS "SPARE".
2. CONTRACTOR SHALL REUSE EXISTING FIRE ALARM DEVICES IF NOT DAMAGED DURING DEMOLITION.
3. CONTRACTOR SHALL NOT LEAVE ANY UNUSED ELECTRICAL DEVICES ABANDONED IN PLACE. ALL ELECTRICAL DEVICES MUST BE REMOVED.
4. EXISTING EQUIPMENT, SUCH AS LIGHTING FIXTURES, WIRING DEVICES, CONDUITS, ETC., SHOWN ON PLANS TO BE REMOVED COMPLETELY. CUT/CAP CONDUITS AT THE AREA OF WORK PERIMETER AND REMOVE CONDUIT WITHIN THE WORK AREA, DISCONNECT WIRING AT THE OVERCURRENT PROTECTIVE DEVICE AND REMOVE WIRING COMPLETELY FROM THE ABANDONED CONDUITS.
5. REMOVE ALL ACCESSIBLE ABANDONED WIRING OF ALL TYPES, OR CAP AND LABEL IN JUNCTION BOX FOR RE-USE, IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE.
6. MAINTAIN AND RESTORE ANY EXISTING SYSTEMS THAT WILL REMAIN IN USE DURING DEMOLITION OR CONSTRUCTION, IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS AND SERVICING UNDISTURBED AREAS.



1 1ST FLOOR LIGHTING & FIRE ALARM DEMOLITION PLAN
1/8" = 1'-0"

FULLY SPRINKLERED
ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR LIGHTING DEMOLITION PLAN
Approved: Project Director

Project Title: RENOVATE BUILDING 69
Location: 1400 Black Horse Hill, Coatesville, PA
Date: 3/29/13 | Checked: CGS/WCM | Drawn: KLC

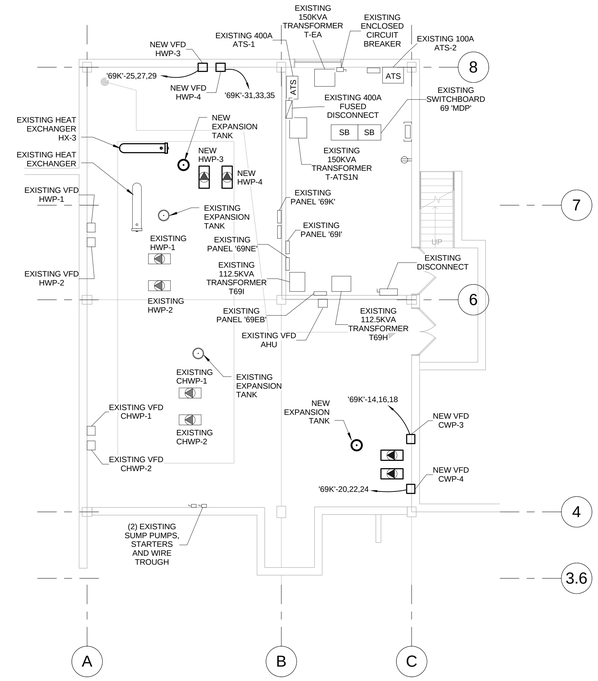
VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: ED102
Dwg. 71 of 86

Office of Facilities Management
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

BASEMENT POWER & LIGHTING PLAN NOTES:

1. ALL RECEPTACLE CONDUCTORS SHALL BE 2-12 AWG, 1-12 AWG EG IN 3/4" EMT UNLESS NOTED OTHERWISE.
2. VERIFY LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.
3. SEE E-601 FOR EQUIPMENT CONDUCTOR SCHEDULE.



1 BASEMENT POWER PLAN
1/8" = 1'-0"

FULLY SPRINKLERED
ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: BASEMENT POWER PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

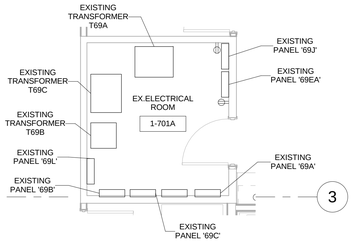
Drawing Number: E-101

Dwg. 72 of 86

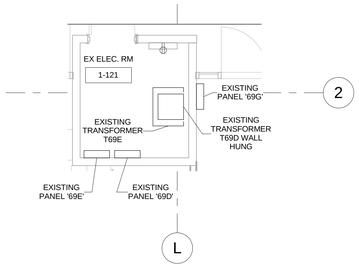
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



2 1ST FLOOR EXISTING ELECTRICAL ROOM 1-701A ENLARGEMENT
1/4" = 1'-0"

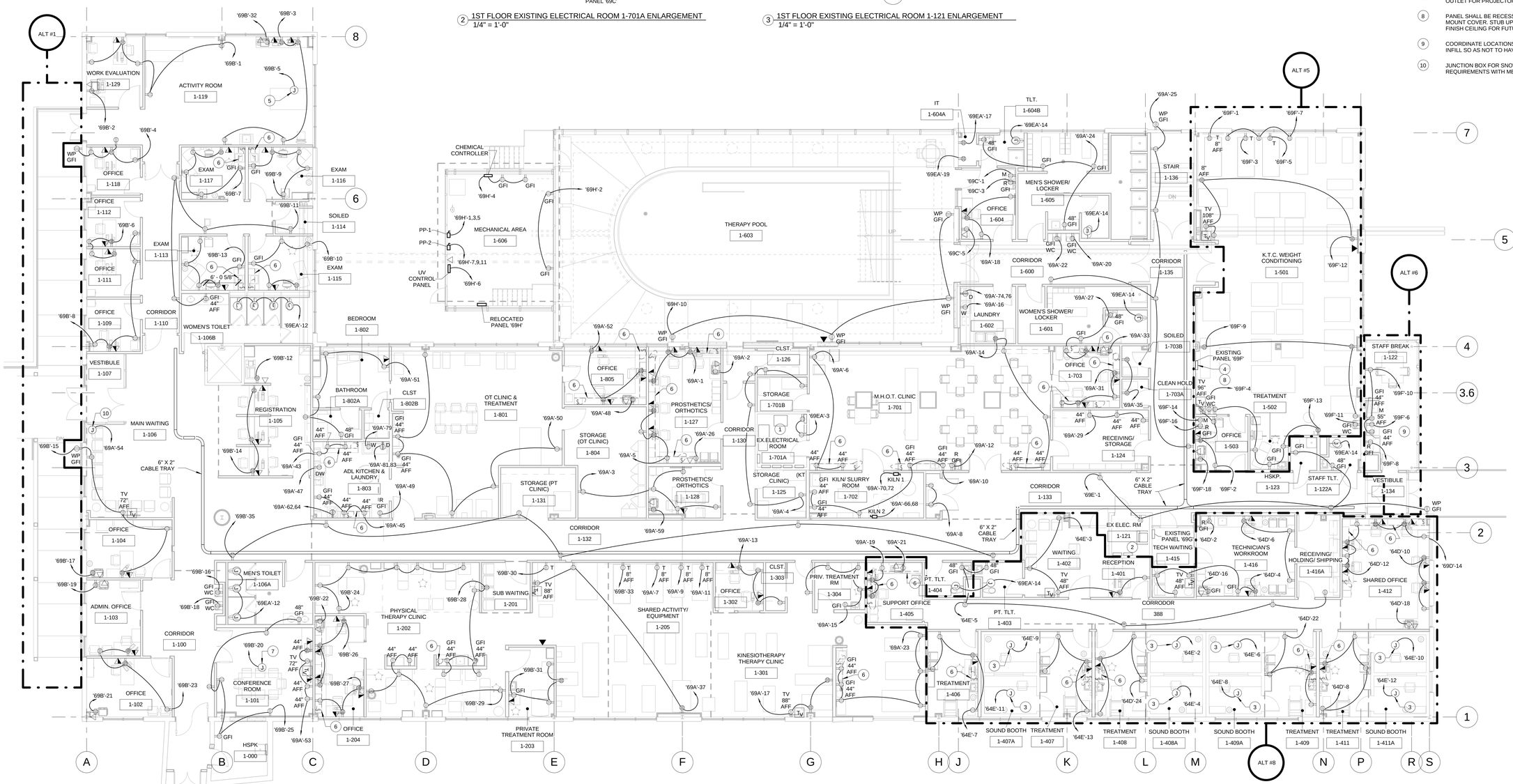


3 1ST FLOOR EXISTING ELECTRICAL ROOM 1-121 ENLARGEMENT
1/4" = 1'-0"

1ST FLOOR POWER & TELECOMMUNICATIONS PLAN NOTES:

1. ALL RECEPTACLE CONDUCTORS SHALL BE 2-12 AWG, 1-12 AWG EG IN 3/4" EMT UNLESS NOTED OTHERWISE.
2. VERIFY LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.
3. SEE E-601 FOR EQUIPMENT CONDUCTOR SCHEDULE.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL FACE PLATES AND JACKS FOR TELE DATA.
5. ELECTRICAL CONTRACTOR SHALL PULL ALL DATA/TELCO CABLES FROM OUTLET LOCATION TO TELCO CABINET AND TERMINATE AT THE OUTLET. OWNER SHALL TERMINATE ALL CABLES IN THE TELCO CABINET
6. COORDINATE CABLE TRAY INSTALLATION WITH OTHER TRADES FOR CLEARANCES.
7. 3/4" CONDUIT TO CABLE TRAY WITH PULL STRING FOR TV.
8. VERIFY LOCATION AND ELECTRICAL REQUIREMENTS OF ALL POOL EQUIPMENT WITH POOL MANUFACTURER.
9. SEE E-001 FOR DEDUCT ALTERNATES.

KEY	NOTE
1	SEE ELECTRICAL ROOM 1-701A ENLARGEMENT 2/E-102.
2	SEE ELECTRICAL ROOM 1-121 ENLARGEMENT 3/E-102.
3	JUNCTION BOX FOR SOUND BOOTH. COORDINATE ELECTRICAL AND DATA REQUIREMENTS AND CONNECTION WITH MANUFACTURER, INCLUDING PANIC BUTTON CONNECTION.
4	EXISTING PANEL '69F' TO REMAIN. EXISTING WALL SUPPORTING PANEL TO BE DEMOLISHED. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT FOR PANEL DURING DEMOLITION AND UNTIL NEW WALL IS CONSTRUCTED. ROUGH IN NEW WALL AS WALL IS BEING CONSTRUCTED.
5	JUNCTION BOX FOR RELOCATED LIFT. VERIFY ELECTRICAL REQUIREMENTS BEFORE RELOCATING AND INSTALLING.
6	UNDERCABINET TASK LIGHTING. COORDINATE LENGTH AND MOUNTING WITH CABINETS AND ARCHITECTURAL DRAWINGS. CIRCUIT FROM NEAREST RECEPTACLE CIRCUIT IN THE SAME ROOM. INSTALL WALL SWITCH FOR EACH CONTINUOUS RUN OF UNDERCABINET LIGHTING AS SHOWN.
7	FLUSH CEILING MOUNTED 120V DUPLEX RECEPTACLE AND DATA OUTLET FOR PROJECTOR.
8	PANEL SHALL BE RECESSED INTO NEW WALL, PROVIDE NEW FLUSH MOUNT COVER. STUB UP FOUR (4) 3/4" EMT CONDUITS TO ABOVE FINISH CEILING FOR FUTURE USE.
9	COORDINATE LOCATIONS OF ALL WALL RECEPTACLES IN NEW WALL INFILL SO AS NOT TO HAVE EXPOSED CONDUIT.
10	JUNCTION BOX FOR SNOW MELT SYSTEM. COORDINATE LOCATION AND REQUIREMENTS WITH MECHANICAL CONTRACTOR.



1 1ST FLOOR POWER AND TELECOMMUNICATIONS PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA. 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	1ST FLOOR POWER AND TELECOMMUNICATIONS PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	3/29/13
Checked	CGS/WCM
Drawn	KLC
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	E-102
Dwg. 73 of 86	

Office of Facilities Management

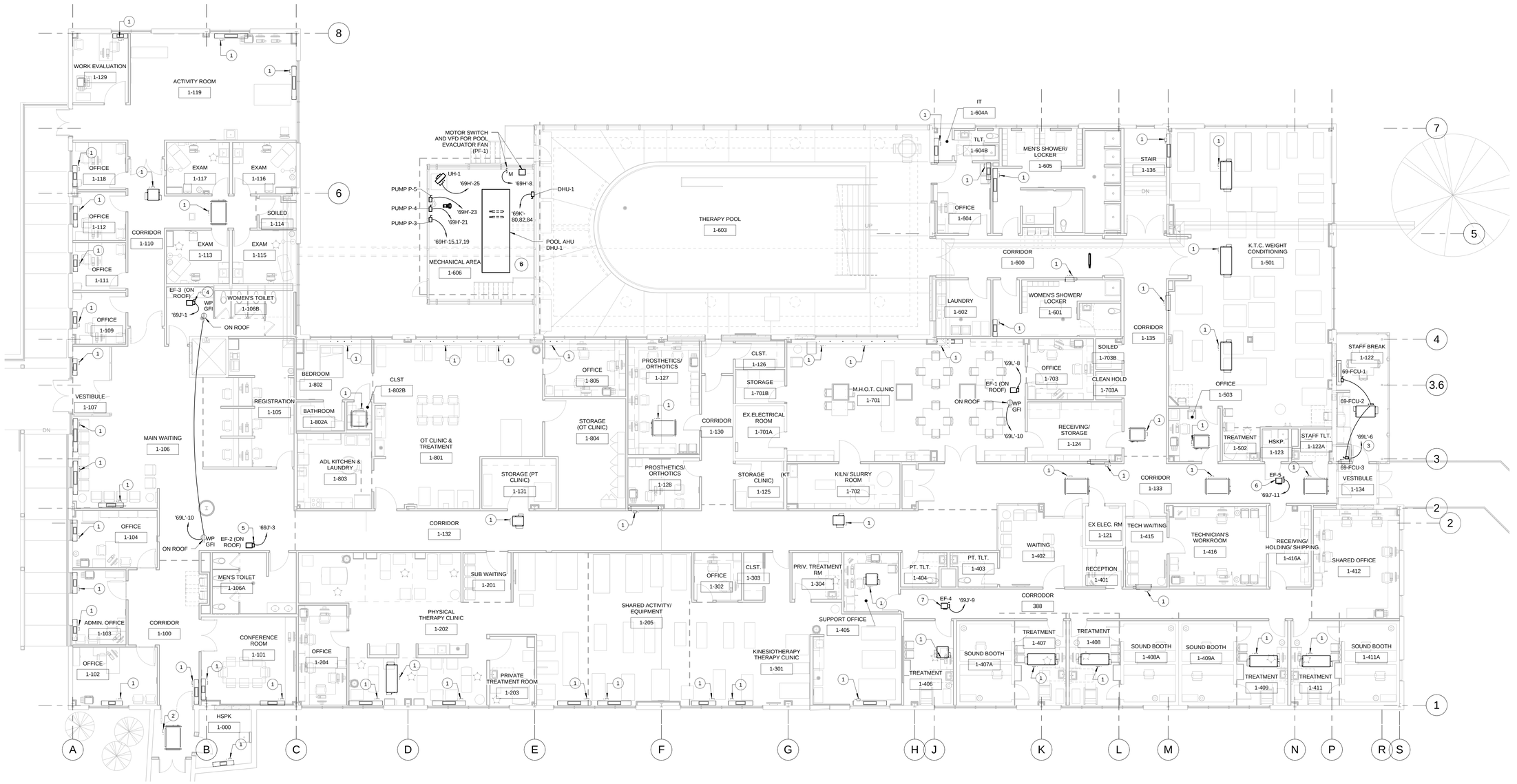
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	EXISTING FAN COIL UNIT WITH INTEGRAL DISCONNECT SWITCH PROVIDED WITH UNIT TO REMAIN.
2	EXISTING UNIT HEATER AND DISCONNECT.
3	TIE INTO EXISTING FAN COIL UNIT CIRCUIT.
4	CONNECT EF-3 TO LIGHTING CIRCUIT AND SWITCH SERVING WOMEN'S TOILET 1-108.
5	CONNECT EF-2 TO LIGHTING CIRCUIT AND SWITCH SERVING MEN'S TOILET 1-104.
6	CONNECT EF-5 TO LIGHTING CIRCUIT AND SWITCH SERVING STAFF TOILET 1-122A.
7	CONNECT EF-4 TO LIGHTING CIRCUIT AND SWITCHES SERVING PATIENT TOILETS 1-403 & 1-404.

1ST FLOOR HVAC POWER PLAN NOTES:

1. VERIFY LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.
2. SEE E-601 FOR EQUIPMENT CONDUCTOR SCHEDULE.
3. ALL RECEPTACLE CONDUCTORS SHALL BE 2-12 AWG, 1-12 AWG EG IN 3/4" C. UNLESS NOTED OTHERWISE.



1 1ST FLOOR HVAC POWER PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC. 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR HVAC POWER PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number	Building Number	Drawing Number
542-CSI-203	69	E-103

Dwg. 74 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	LIGHTING FOR SOUND BOOTHS INTEGRAL TO SOUND BOOTH EQUIPMENT. COORDINATE WITH MANUFACTURER.
2	IF ALTERNATE #1 OR #7 IS NOT ACCEPTED CONTRACTOR SHALL INSTALL EXTERIOR WALL PACKS AS SHOWN.
3	RELOCATE LIGHT SWITCH TO COORDINATE WITH NEW DOOR SWING. TIE TO EXISTING LIGHT FIXURES AND CIRCUIT.
4	EXISTING LIGHTING TO REMAIN.

1ST FLOOR LIGHTING PLAN NOTES:

1. ALL LIGHTING CONDUCTORS SHALL BE 2-12 AWG, 1-12 AWG EG IN 3/4" EMT UNLESS NOTED OTHERWISE.
2. ALL EMERGENCY NIGHTLIGHTS (EM NL), EXIT SIGNS AND EXTERIOR EMERGENCY EGRESS LIGHTING SHALL BE CIRCUITED FROM EMERGENCY LIGHTING CIRCUIT '69EB'-2, AHEAD OF ANY SWITCHING.
3. ALL EMERGENCY LIGHTS (EM) SHALL HAVE BOTH NORMAL AND EMERGENCY POWER. SEE DETAIL 3/E-501.
   '69J'-## - NORMAL POWER CIRCUIT
   ('69EB'-##) - EMERGENCY POWER CIRCUIT
4. SEE 1/E-102 FOR UNDERCABINET LIGHTING LOCATIONS. COORDINATE ALL LENGTHS AND MOUNTING WITH CABINETS AND ARCHITECTURAL DRAWINGS.
5. ALL EXTERIOR LIGHTING SHALL BE CONTROLED BY PHOTOCELL.
6. ALL EXISTING EXTERIOR LIGHTING AND CONTROLS TO REMAIN.
7. ALL EXTERIOR EMERGENCY LIGHTS (EM) SHALL HAVE BOTH NORMAL AND EMERGENCY POWER. SEE DETAIL 3/E-501.
   '69J'-## - NORMAL POWER CIRCUIT
   ('69EB'-##) - EMERGENCY POWER CIRCUIT
8. SEE E-001 FOR DEDUCT ALTERNATES.

1 1ST FLOOR LIGHTING PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR LIGHTING PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: E-104

Dwg. 75 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

KEY	NOTE
1	SECURITY CAMERA LOCATION. COORDINATE WITH SECURITY CONTRACTOR.
2	LOCATION OF PA SYSTEM HEAD END UNIT AND AMPLIFIER. PROVIDE 120 VOLT 20 AMP CIRCUIT FROM PANEL '69EA'-2.
3	JUNCTION BOX ABOVE CEILING FOR AUTOMATIC DOOR POWER.
4	JUNCTION BOX ABOVE CEILING FOR CARD READER POWER.

1ST FLOOR ELECTRICAL SYSTEMS PLAN NOTES:

1. INSTALL NEW PA SPEAKERS AS INDICATED. COORDINATE LOCATIONS WITH OTHER DISCIPLINES AND TRADES.
2. NEW EQUIPMENT MUST OPERATE, INTERFACE, AND CONNECT TO EXISTING HOSPITAL SYSTEM SEAMLESSLY.
3. ALL PA SYSTEM WIRING TO BE IN CONDUIT.
4. PROVIDE 1" CONDUIT TO RUN WITHIN 6" OF CABLE TRAY FOR CAMERA. PROVIDE PULL STRING IN EMPTY CONDUIT.
5. SEE E-001 FOR DEDUCT ALTERNATES.

1 1ST FLOOR ELECTRICAL SYSTEMS PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

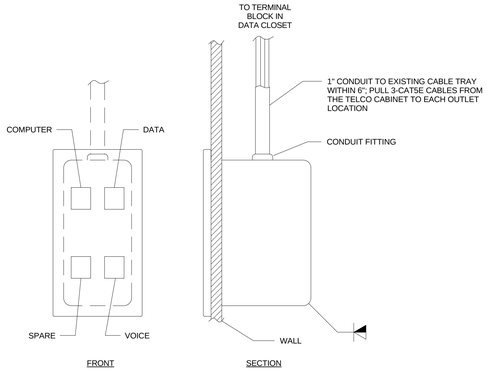
Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title	1ST FLOOR ELECTRICAL SYSTEMS PLAN
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	3/29/13
Checked	CGS/WCM
Drawn	KLC
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	E-105
Dwg. 76 of 86	

Office of Facilities Management

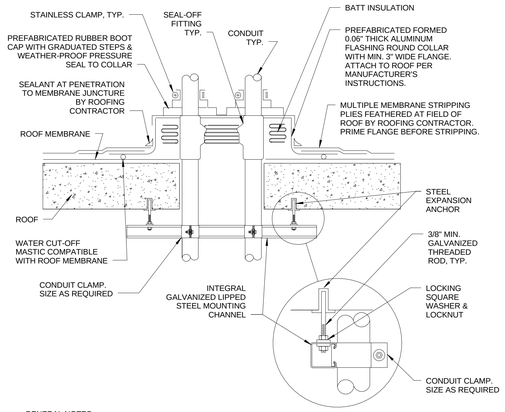
Department of Veterans Affairs

VA FORM 08-6231, OCT 1978



NOTE:
1. SEE SPECIFICATION SECTION 27 10 00 STRUCTURED CABLING-DATA-VOICE MEMO NO. FITS-02.
2. USE YELLOW, BLUE AND WHITE JACKS.

10 COMMUNICATION OUTLET DETAIL
N.T.S.

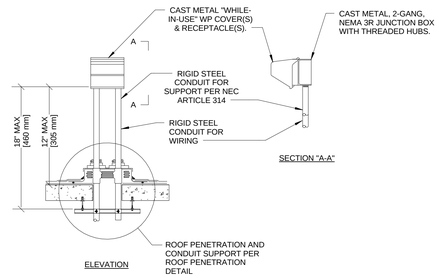


GENERAL NOTES:

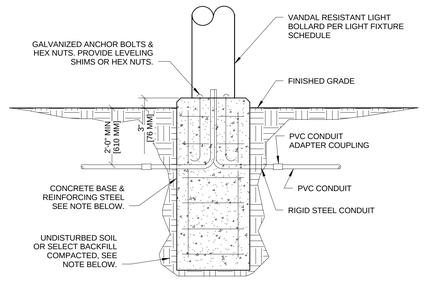
1. MAINTAIN A MINIMUM CLEARANCE OF 12" [308 mm] ON ALL SIDES OF ROOF PENETRATION FROM WALLS, CURBS, AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING.
2. FLANGES OF ADJACENT FLASHING SHALL NOT BE CUT OR OVERLAPPED.
3. VERIFY ROOF & STRUCTURAL SYSTEM WITH ARCHITECT.
4. COORDINATE FLASHING INSTALLATION WITH ROOFING CONTRACTOR TO ENSURE PROPER METHODS & MATERIALS ARE USED TO MAINTAIN ROOF WARRANTY.

7 ROOF PENETRATION DETAIL
N.T.S.

8 PANIC BUTTON DETAIL
N.T.S.



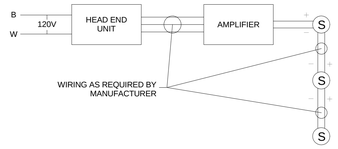
6 RECEPTACLE ROOF MOUNTING DETAIL
N.T.S.



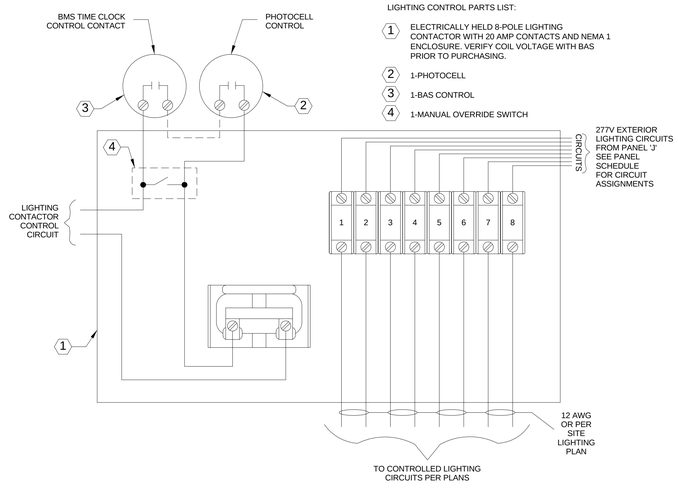
NOTE:

BACKFILL, CONCRETE, REINFORCING STEEL, AND ANCHOR BOLTS ARE SHOWN FOR REFERENCE ONLY. STRUCTURAL DESIGN IS SHOWN ON STRUCTURAL DRAWINGS.

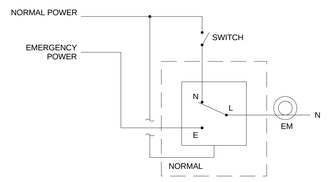
5 BOLLARD BASE DETAIL
N.T.S.



4 PA SYSTEM SCHEMATIC
N.T.S.

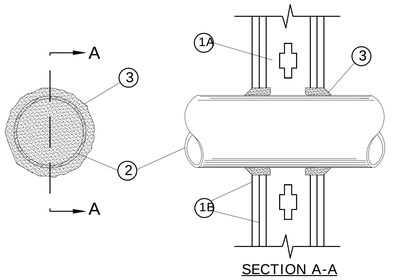


9 LIGHTING CONTACTOR DETAIL
N.T.S.



3 EMERGENCY LIGHTING CONTROL DETAIL
N.T.S.

System No.W-L-1001
June 15, 2005
F Ratings - 1, 2, 3 and 4 Hr (See Items 2 and 3)
T Ratings - 0, 1, 2, 3, and 4 Hr (See Item 3)
L Rating At Ambient - less than 1 CFM/sq ft
L Rating At 400 F - less than 1 CFM/sq ft



SECTION A-A

1. Wall Assembly - The 1, 2, 3 or 4 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner described in the individual U300 or U400 Series Wall or Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

A. Studs - Wall framing may consist of either wood studs (max 2 hr fire rated assemblies) or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC with nom 2 by 4 in. (51 by 102 mm) lumber end plates and cross braces. Steel studs to be min 3-5/8 in. (92 mm) wide by 1-3/8 in. (35 mm) deep channels spaced max 24 in. (610 mm) OC.

B. Gypsum Board* - Nom 1/2 or 5/8 in. (13 or 16 mm) thick, 4 ft. (122 cm) wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max diam of opening is 26 in. (660 mm).

2. Through Penetrant - One metallic pipe, conduit or tubing installed either concentrically or eccentrically within the firestop system. The annular space between pipe, conduit or tubing and periphery of opening shall be min of 0 in. (0 mm) (point contact) to max 2 in. (51 mm). Pipe, conduit or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:

A. Steel Pipe - Nom 24 in. (610 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

B. Iron Pipe - Nom 24 in. (610 mm) diam (or smaller) service weight (or heavier) cast iron soil pipe, nom 12 in. (305 mm) diam (or smaller) or Class 50 (or heavier) ductile iron pressure pipe.

C. Conduit - Nom 6 in. (152 mm) diam (or smaller) steel conduit or nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing

D. Copper Tubing - Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing

E. Copper Pipe - Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.

F. Through Penetrating Product* - Flexible Metal Piping - The following types of steel flexible metal gas piping may be used:

1. Nom 2 in. (51 mm) diam (or smaller) steel flexible metal gas piping. Plastic covering on piping may or may not be removed on both sides of floor or wall assembly.

OMEGA FLEX INC

2. Nom 1 in. (25 mm) diam (or smaller) steel flexible metal gas piping. Plastic covering on piping may or may not be removed on both sides of floor or wall assembly.

TITEFLEX CORP
A BUNDY CO

3. Nom 1 in. (25 mm) diam (or smaller) steel flexible metal gas piping. Plastic covering on piping may or may not be removed on both sides of floor or wall assembly.

WARD MFG INC

3. Fill,Void or Cavity Material* - Caulk or Sealant - Min 5/8, 1-1/4,1-7/8 and 2-1/2 in. (16, 32, 48 and 64 mm) thickness of caulk for 1, 2, 3 and 4 hr rated assemblies, respectively, applied within annulus, flush with both surfaces of wall. Min 1/4 in. (6 mm) diam bead of caulk applied to gypsum board/penetrant interface at point contact location on both sides of wall.
The hourly F Rating of the firestop system is dependent upon the hourly fire rating of the wall assembly in which it is installed, as shown in the following table.
The hourly T Rating of the firestop system is dependent upon the type or size of the pipe or conduit and the hourly fire rating of the wall assembly in which it is installed, as tabulated below:

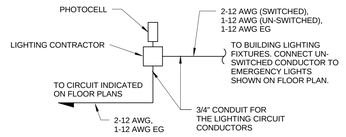
Max Pipe or Conduit Diam in. (mm)	F Rating Hr	T Rating Hr
1 (25)	1 or 2	0+, 1 or 2
1 (25)	3 or 4	3 or 4
4 (102)	1 or 2	0
6 (152)	3 or 4	0
12 (305)	1 or 2	0

+When copper pipe is used, T Rating is 0 hr.

3M COMPANY - CP 25WB+ caulk or FB-3000 WT sealant,

*Bearing the UL Classification Marking

2 CONDUIT PENETRATION THROUGH GYPSUM ASSEMBLY (UL #W-L-1001)
N.T.S.



1 EXTERIOR LIGHTING CONTROL DETAIL
N.T.S.

FULLY SPRINKLERED
ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: ELECTRICAL DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: E-501

Dwg. 77 of 86

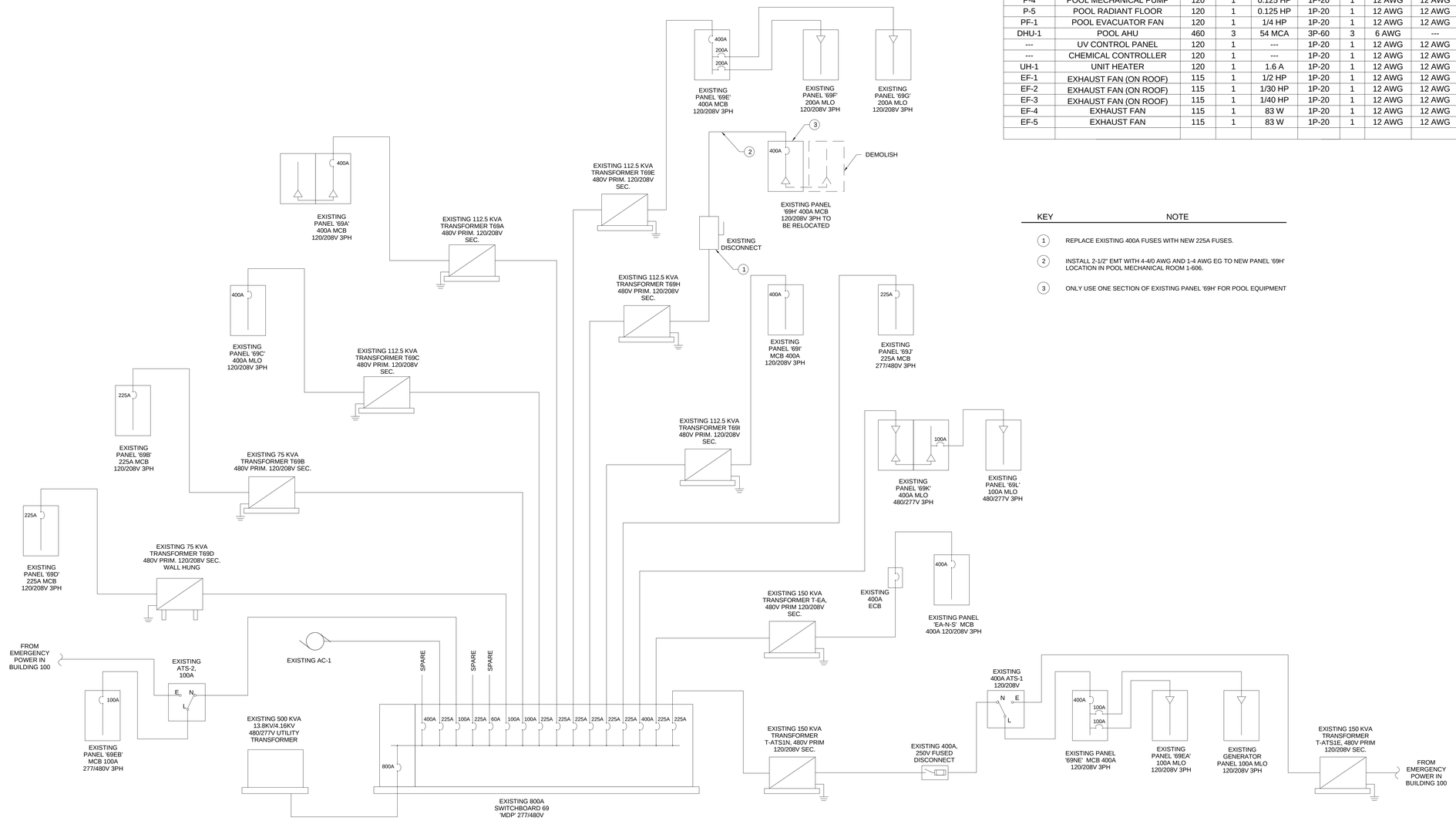
Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

EQUIPMENT CONDUCTOR SCHEDULE

TAG	DESCRIPTION	VOLTS	PHASE	LOAD	MOCP	CONDUCTORS	NEUTRAL	GROUND	CONDUIT	PLUG	DISCONNECT TYPE
KILN 1	LL KILNS	208	1	48 A	2P-60	2 6 AWG	6 AWG	10 AWG	3/4"	---	60A NEMA 1
KILN 2	SKUTT KILN	208	1	48 A	2P-60	2 6 AWG	6 AWG	10 AWG	3/4"	---	60A NEMA 1
---	RANGE	208	1	8000 W	2P-50	2 8 AWG	---	10 AWG	3/4"	NEMA 6-50	---
D	DRYER	208	1	4500 W	2P-30	2 10 AWG	---	10 AWG	3/4"	NEMA 6-30	---
W	WASHER	120	1	1200 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	NEMA 5-20	---
DW	DISH WASHER	120	1	1200 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	NEMA 5-20	---
R	REFRIGERATOR	120	1	1200 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	NEMA 5-20	---
---	SOUND BOOTH	120	1	1200 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	---
69-FCU-1	FAN COIL UNIT	277	1	40 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	INTERGRAL
69-FCU-2	FAN COIL UNIT	277	1	40 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	INTERGRAL
69-FCU-3	FAN COIL UNIT	277	1	20 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	INTERGRAL
HWP-3	HEATING WATER PUMPS	460	3	1.5 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	VFD
HWP-4	HEATING WATER PUMPS	460	3	1.5 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	VFD
CWP-3	COLD WATER PUMP	460	3	3 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	VFD
CWP-4	COLD WATER PUMP	460	3	3 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	VFD
PP-1	POOL RECIRC. PUMP	208	3	2 HP	3P-15	3 12 AWG	---	12 AWG	3/4"	---	30A NEMA 1
PP-2	POOL JET PUMP	208	3	3 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	30A NEMA 1
P-3	POOL MECHANICAL PUMP	208	3	1 HP	3P-20	3 12 AWG	---	12 AWG	3/4"	---	30A NEMA 1
P-4	POOL MECHANICAL PUMP	120	1	0.125 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
P-5	POOL RADIANT FLOOR	120	1	0.125 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
PF-1	POOL EVACUATOR FAN	120	1	1/4 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	VFD/MOTOR SWITCH
DHU-1	POOL AHU	460	3	54 MCA	3P-60	3 6 AWG	---	10 AWG	1 1/4"	---	60A NEMA 1
---	UV CONTROL PANEL	120	1	---	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
---	CHEMICAL CONTROLLER	120	1	---	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
UH-1	UNIT HEATER	120	1	1.6 A	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
EF-1	EXHAUST FAN (ON ROOF)	115	1	1/2 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 3R
EF-2	EXHAUST FAN (ON ROOF)	115	1	1/30 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 3R
EF-3	EXHAUST FAN (ON ROOF)	115	1	1/40 HP	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 3R
EF-4	EXHAUST FAN	115	1	83 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1
EF-5	EXHAUST FAN	115	1	83 W	1P-20	1 12 AWG	12 AWG	12 AWG	3/4"	---	30A NEMA 1



1 ELECTRICAL SINGLE-LINE DIAGRAM
N.T.S.

KEY	NOTE
1	REPLACE EXISTING 400A FUSES WITH NEW 225A FUSES.
2	INSTALL 2-1/2" EMT WITH 4-4/0 AWG AND 1-4 AWG EG TO NEW PANEL '69H' LOCATION IN POOL MECHANICAL ROOM 1-606.
3	ONLY USE ONE SECTION OF EXISTING PANEL '69H' FOR POOL EQUIPMENT

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	3/16" = 1'-0"

Drawing Title: ELECTRICAL SINGLE-LINE DIAGRAM AND EQUIPMENT CONDUCTOR SCHEDULE

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number	Building Number	Drawing Number
542-CSI-203	69	E-601

Dwg. 78 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

LOAD SERVED	KVA/Phase A	KVA/Phase B	KVA/Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA/Phase A	KVA/Phase B	KVA/Phase C	LOAD SERVED
MICROWAVE 1-604	1.20	---	---	1P-20	1		2	1P-20	0.00	---	---	SPARE
REFRIGERATOR 1-604	---	1.20	---	1P-20	3		4	1P-20	---	0.00	---	SPARE
COPIER/PRINTER 1-604	---	---	1.20	1P-20	5		6	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	2P-30	7		8	3P-50	0.00	---	---	SPARE
	---	0.00	---		9		10		---	0.00	---	
SPARE	---	---	0.00	3P-50	11		12		---	---	0.00	
	0.00	---	---		13		14		0.00	---	---	
	---	0.00	---		15		16	3P-40	---	0.00	---	SPARE
SPARE	---	---	0.00	2P-15	17		18		---	---	0.00	
	0.00	---	---		19		20	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	2P-15	21		22	2P-20	---	0.00	---	SPARE
	---	---	0.00		23		24		---	---	0.00	
SPARE	0.00	---	---	1P-20	25		26	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	27		28	1P-20	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	29		30	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	1P-20	31		32	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	33		34	1P-20	---	0.00	---	SPARE
	---	---	0.00		35		36	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	3P-20	37		38		0.00	---	---	
	---	0.00	---		39		40	3P-40	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	41		42		---	---	0.00	
SUB TOTAL	1.20	1.20	1.20						0.00	0.00	0.00	SUB TOTAL
									1.20	1.20	1.20	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE

ISOLATED GROUND BUS		YES	X	NO
MAIN CIRCUIT BREAKER	X	YES		NO
SERVICE ENTR. RATED		YES	X	NO
MINIMUM AIC (K AMPS)				
MCB RATING 400A				
BUS RATING 400A				
NEUTRAL RATING 100%				

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		0.00	0.00	0.00	<=10 KVA@100%	0.00	0.00	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.00	0.00	0.00	125%	0.00	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		1.20	1.20	1.20	100%	1.20	1.20	1.20
TOTAL KVA PER PHASE		1.20	1.20	1.20		1.20	1.20	1.20
TOTAL DEMAND AMPERES PER PHASE						10	10	10
PANEL / FEEDER (TOTAL KVA)								3.60

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 10

EXISTING PANEL '69C'

LOAD SERVED	KVA/Phase A	KVA/Phase B	KVA/Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA/Phase A	KVA/Phase B	KVA/Phase C	LOAD SERVED
RECPT 1-119, 1-129	1.08	---	---	1P-20	1		2	1P-20	1.20	---	---	COPIER/PRINTER 1-129
RECPT 1-119	---	1.08	---	1P-20	3		4	1P-20	---	1.08	---	RECPT 1-118, 1-119, EXTERIOR
J-BOX RELOCATED LIFT 1-119	---	---	1.00	1P-20	5		6	1P-20	---	---	1.08	RECPT 1-111,1-112
RECPT 1-117 & TASK LTG	1.11	---	---	1P-20	7		8	1P-20	1.08	---	---	RECPT 1-109,1-111,1-112
RECPT 1-116 & TASK LTG	---	1.11	---	1P-20	9		10	1P-20	---	1.11	---	RECPT 1-115 & TASK LTG
RECPT 1-108,1-110, 1-114	---	---	0.90	1P-20	11		12	1P-20	---	---	1.20	COPIER/PRINTER 1-105
RECPT 1-113 & TASK LTG	1.11	---	---	1P-20	13		14	1P-20	1.08	---	---	RECPT 1-105
RECPT 1-104,1-106,EXTERIOR	---	1.08	---	1P-20	15		16	1P-20	---	1.00	---	WATER COOLER 1-100
COPIER/PRINTER 1-104	---	---	1.20	1P-20	17		18	1P-20	---	---	1.00	WATER COOLER 1-100
COPIER/PRINTER 1-103	1.20	---	---	1P-20	19		20	1P-20	1.00	---	---	PROJECTOR 1-101
COPIER/PRINTER 1-102	---	1.20	---	1P-20	21		22	1P-20	---	1.20	---	COPIER/PRINTER 1-204
RECPT 1-102,1-103	---	---	1.08	1P-20	23		24	1P-20	---	---	1.08	RECPT 1-202
RECPT 1-000,1-100,1-101,1-104	1.08	---	---	1P-20	25		26	1P-20	1.08	---	---	RECPT 1-204
RECPT 1-204 & TASK LTG	---	1.04	---	1P-20	27		28	1P-20	---	1.10	---	RECPT 1-201,1-202 & TASK LTG
RECPT 1-202	---	---	1.08	1P-20	29		30	1P-20	---	---	1.20	TREADMILL 1-205
RECPT 1-203,1-205	0.90	---	---	1P-20	31		32	1P-20	1.20	---	---	COPIER/PRINTER 1-119
TREADMILL 1-205	---	1.00	---	1P-20	33		34	--	---	0.00	---	SPACE
RECPT 1-131,1-132	---	---	1.08	1P-20	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	6.48	6.52	6.34						6.64	5.50	5.56	SUB TOTAL
									13.12	12.01	11.90	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE

ISOLATED GROUND BUS		YES	X	NO
MAIN CIRCUIT BREAKER	X	YES		NO
SERVICE ENTR. RATED		YES	X	NO
MINIMUM AIC (K AMPS)				
MCB RATING 225A				
BUS RATING 225A				
NEUTRAL RATING 100%				

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.06	0.23	0.00	125%	0.08	0.29	0.00
GENERAL USE RECEPT		8.46	7.38	6.30	<=10 KVA@100%	3.33	3.33	3.33
					>10KVA@50%	2.57	2.03	1.49
MOTORS AND EQUIPMENT	LARGEST	0.00	0.00	0.00	125%	0.00	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		4.60	4.40	5.60	100%	4.60	4.40	5.60
TOTAL KVA PER PHASE		13.12	12.01	11.90		10.58	10.05	10.42
TOTAL DEMAND AMPERES PER PHASE						88	84	87
PANEL / FEEDER (TOTAL KVA)								31.04

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 86

EXISTING PANEL '69B'

LOAD SERVED	KVA/Phase A	KVA/Phase B	KVA/Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA/Phase A	KVA/Phase B	KVA/Phase C	LOAD SERVED
SPARE	0.00	---	---	2P-30	1		2	1P-20	1.20	---	---	REFRIGERATOR 1-416
	---	0.00	---		3		4	1P-20	---	1.08	---	RECPT 1-415,1-416
SPARE	---	---	0.00	1P-20	5		6	1P-20	---	---	0.72	RECPT 1-416
SPARE	0.00	---	---	1P-20	7		8	1P-20	0.93	---	---	RECPT 1-411 & TASK LTG
SPARE	---	0.00	---	1P-20	9		10	1P-20	---	0.90	---	RECPT 1-412
SPARE	---	---	0.00	1P-20	11		12	1P-20	---	---	1.16	RECPT 1-412 & TASK LTG
SPARE	0.00	---	---	1P-20	13		14	1P-20	1.01	---	---	RECPT 1-412 & TASK LTG
SPARE	---	0.00	---	1P-20	15		16	1P-20	---	1.20	---	COPIER/PRINTER 1-416
SPARE	---	---	0.00	1P-20	17		18	1P-20	---	---	1.20	COPIER/PRINTER 1-412
SPARE	0.00	---	---	1P-20	19		20	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	21		22	1P-20	---	0.93	---	RECPT 1-409 & TASK LTG
SPARE	---	---	0.00	1P-20	23		24	1P-20	---	---	0.93	RECPT 1-408 & TASK LTG
SPARE	0.00	---	---	1P-20	25		26	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	2P-40	27		28	2P-20	---	0.00	---	SPARE
	---	---	0.00		29		30		---	---	0.00	
SPARE	0.00	---	---	2P-20	31		32	2P-20	0.00	---	---	SPARE
	---	0.00	---		33		34		---	0.00	---	
SPARE	---	---	0.00	3P-30	35		36	1P-20	---	---	0.00	SPARE
	0.00	---	---		37		38	1P-20	0.00	---	---	SPARE
	---	0.00	---		39		40	1P-20	---	0.00	---	SPARE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	0.00	0.00	0.00						3.14	4.11	4.02	SUB TOTAL
									3.14	4.11	4.02	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE

ISOLATED GROUND BUS		YES	X	NO
MAIN CIRCUIT BREAKER	X	YES		NO
SERVICE ENTR. RATED		YES	X	NO
MINIMUM AIC (K AMPS)				
MCB RATING 225A				
BUS RATING 225A				
NEUTRAL RATING 100%				

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.14	0.03	0.12	125%	0.18	0.04	0.15
GENERAL USE RECEPT		1.80	2.88	2.70	<=10 KVA@100%	1.80	2.88	2.70
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.00	0.00	0.00	125%	0.00	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		1.20	1.20	1.20	100%	1.20	1.20	1.20
TOTAL KVA PER PHASE		3.14	4.11	4.02		3.18	4.12	4.05
TOTAL DEMAND AMPERES PER PHASE						27	34	34
PANEL / FEEDER (TOTAL KVA)								11.35

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 31

EXISTING PANEL '69D'

LOAD SERVED	KVA/Phase A	KVA/Phase B	KVA/Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA/Phase A	KVA/Phase B	KVA/Phase C	LOAD SERVED
RECPT 1-127 & TASK LTG	1.13	---	---	1P-20	1		2	1P-20	1.20	---	---	COPIER/PRINTER 1-127
RECPT 1-128,1-804	---	0.90	---	1P-20	3		4	1P-20	---	1.08	---	RECPT 1-125,1-125,1-130,1-701B
RECPT 1-227,1-804 & TASK LTG	---	---	1.27	1P-20	5		6	1P-20	---	---	0.97	RECPT 1-701,1-701A & TASK LTG
TREADMILL 1-205	1.00	---	---	1P-20	7		8	1P-20	0.36	---	---	RECPTS 1-133
TREADMILL 1-205	---	1.00	---	1P-20	9		10	1P-20	---	0.98	---	RECPT 1-701,1-702 & TASK LTG
TREADMILL 1-205	---	---	1.00	1P-20	11		12	1P-20	---	---	1.20	REFRIGERATOR 1-701
RECPT 1-302,1-303	1.08	---	---	1P-20	13		14	1P-20	1.14	---	---	RECPT 1-602,1-701 & TASK LTG
RECPT 1-304, 1-301	---	0.90	---	1P-20	15		16	1P-20	---	1.20	---	WASHER 1-602
RECPT 1-301	---	---	0.90	1P-20	17		18	1P-20	---	---	0.72	RECPT 1-604
RECPT 1-405 & TASK LTG	1.01	---	---	1P-20	19		20	1P-20	1.00	---	---	WATER COOLER 1-600
COPIER/PRINTER 1-405	---	1.20	---	1P-20	21		22	1P-20	---	1.00	---	WATER COOLER 1-600
RECPT 1-301 & TASK LTG	---	---	1.12	1P-20	23		24	1P-20	---	---	0.72	RECPT 1-604,1-605
RECPT 1-135,1-136,1-600, EXT.	1.08	---	---	1P-20	25		26	1P-20	1.20	---	---	COPIER/PRINTER 1-127
RECPT 1-601, 1-703 & TASK LTG	---	1.11	---	1P-20	27		28	1P-20	---	0.00	---	SPARE
RECPT 1-124	---	---	0.54	1P-20	29		30	1P-20	---	---	0.00	SPARE
RECPT 1-703	1.08	---	---	1P-20	31		32	1P-20	0.00	---	---	SPARE
COPIER/PRINTER 1-703	---	1.20	---	1P-20	33		34	1P-20	---	0.00	---	SPARE
RECPT 1-703AB	---	---	0.72	1P-20	35		36	1P-20	---	---	0.00	SPARE
RECPT 1-205	0.72	---	---	1P-20	37		38	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	39		40	1P-20	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	41		42	1P-20	---	---	0.00	SPARE
RECPT 1-803 & TASK LTS	0.59	---	---	1P-20	43		44	1P-20	0.00	---	---	SPARE
RECPT 1-803 & TASK LTS	---	0.58	---	1P-20	45		46	1P-20	---	0.00	---	SPARE
DISHWASHER 1-803	---	---	1.20	1P-20	47		48	1P-20	---	---	1.20	COPIER/PRINTER 1-805
REFRIGERATOR 1-803	1.20	---	---	1P-20	49		50	1P-20	1.08	---	---	RECPT 1-801
RECPT 1-105,1-802	---	0.90	---	1P-20	51		52	1P-20	---	1.28	---	RECPT 1-805 & TASK LTS
RECPT 1-101	---	---	0.90	1P-20	53		54	1P-20	---	---	0.50	J-BOX SNOW MELT SYSTEM
SPARE	0.00	---	---	1P-20	55		56	--	0.00	---	---	SPACE
SPARE	---	0.00	---	1P-20	57		58	1P-20	---	0.00	---	SPARE
COPIER/PRINTER 1-128	---	---	1.20	1P-20	59		60	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	3P-20	61		62	2P-50 *	4.00	---	---	RANGE 1-803
	---	0.00	---		63		64		---	4.00	---	
	---	---	0.00		65		66	2P-60 *	---	---	5.00	KILN 2
SPARE	0.00	---	---	3P-35	67		68		5.00	---	---	
	---	0.00	---		69		70	2P-60 *	---	5.00	---	KILN 1
	---	---	0.00		71		72		---	---	5.00	
SPARE	0.00	---	---	3P-20	73		74	2P-30	2.25	---	---	DRYER 1-602
	---	0.00	---		75		76		---	2.25	---	
	---	---	0.00		77		78		---	---	0.00	
WASHER 1-803	1.20	---	---	1P-20	79		80	3P-20	0.00	---	---	SPARE
DRYER 1-803	---	2.25	---	2P-30	81		82		---	0.00	---	
	---	---	2.25		83		84	1P-20	---	---	0.00	SPARE
SUB TOTAL	10.09	10.05	11.10						17.23	16.79	15.31	SUB TOTAL
									27.32	26.84	26.41	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE

ISOLATED GROUND BUS		YES	X	NO
MAIN CIRCUIT BREAKER	X	YES		NO
SERVICE ENTR. RATED		YES	X	NO
MINIMUM AIC (K AMPS)				
MCB RATING 400A				
BUS RATING 400A				
NEUTRAL RATING 100%				

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.
* - NEW CIRCUIT BREAKER

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.27	0.29	0.30	125%	0.34	0.37	0.38
GENERAL USE RECEPT		9.00	7.44	7.56	<=10 KVA@100%	3.33	3.33	3.33
					>10KVA@50%	2.84	2.06	2.12
MOTORS AND EQUIPMENT	LARGEST	5.00	5.00	5.00	125%	6.25	6.25	6.25
	ALL OTHERS	1.20	0.00	5.50	100%	1.20	0.00	5.50
DEDICATED RECEPT		11.85	14.10	8.05	100%	11.85	14.10	8.05
TOTAL KVA PER PHASE		27.32	26.84	26.41		25.81	26.10	25.62
TOTAL DEMAND AMPERES PER PHASE						215	218	214
PANEL / FEEDER (TOTAL KVA)								77.53

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 215

EXISTING PANEL '69A'

LOAD SERVED	BRKR SIZE	NO. OF POLES	FRAME SIZE	NUMBER	CONN. KVA A	CONN. KVA B	CONN. KVA C	FEEDER SIZE
EXISTING PANEL 'B'	3P-100	3	.	1	13.12	12.01	11.90	SEE SINGLE-LINE DIAGRAM
EXISTING ATS-2 TO PANEL 'EB'	3P-100	3	.	2	1.55	0.00	0.00	SEE SINGLE-LINE DIAGRAM
SPARE	3P-225	3	.	3	0.00	0.00	0.00	SEE SINGLE-LINE DIAGRAM
EXIST. XFMR TO PANEL 'EA-N-S'	3P-225	3	.	4	0.00	0.00	0.00	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'J'	3P-225	3	.	5	8.43	9.67	7.19	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'C'	3P-225	3	.	6	1.20	1.20	1.20	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'E'	3P-225	3	.	7	11.26	9.32	10.16	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'I'	3P-225	3	.	8	8.88	7.75	6.98	SEE SINGLE-LINE DIAGRAM
EXISTING AC-1	3P-225	3	.	9	43.23	43.23	43.23	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'A'	3P-225	3	.	10	27.32	26.84	26.41	SEE SINGLE-LINE DIAGRAM
EX 150KVA XFMR TO ATS-1 TO PNL 'NE'	3P-225	3	.	11	11.53	10.44	10.26	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'H'	3P-225	3	.	12	4.17	5.30	4.28	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'D'	3P-100	3	.	13	3.14	4.11	4.02	SEE SINGLE-LINE DIAGRAM
SPARE	3P-60	3	.	14	0.00	0.00	0.00	SEE SINGLE-LINE DIAGRAM
EXISTING PANEL 'K'	3P-400	3	.	15	47.56	46.13	45.37	SEE SINGLE-LINE DIAGRAM
SPARE	3P-400	3	.	16	0.00	0.00	0.00	SEE SINGLE-LINE DIAGRAM
				TOTAL	181.40	176.00	171.00	

C/B TEMP. 75 C. 3 PH, 4 WIRE
RATING (VOLTS) 277 / 480
MOUNTING SURFACE
ISOLATED GROUND BUS NO
MAIN CIRCUIT BREAKER YES
SERVICE ENTR. RATED YES
MINIMUM AIC (K AMPS) 65
MCB RATING 800A
BUS RATING 800A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		10.68	9.95	8.13	125%	13.36	12.43	10.16
GENERAL USE RECEPT					<=10 KVA@100%	3.33	3.33	3.33
		28.08	24.72	20.70	>10KVA@50%	12.38	10.70	8.69
MOTORS AND EQUIPMENT	LARGEST	43.23	43.23	43.23	125%	54.04	54.04	54.04
	ALL OTHERS	56.88	55.70	60.34	100%	56.88	55.70	60.34
EXTERIOR LIGHTING		3.04	2.79	1.00	125%	3.80	3.49	1.25
FIX. ELEC. SPACE HEAT		4.88	3.51	4.79	100%	4.88	3.51	4.79
DEDICATED RECEPT		34.61	36.10	32.81	100%	34.61	36.10	32.81
TOTAL KVA PER PHASE		181.40	176.00	171.00		183.26	179.29	175.40
TOTAL DEMAND AMPERES PER PHASE						662	647	633
PANEL / FEEDER (TOTAL KVA)								537.96

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.
UL LISTED PROVISIONS FOR TVSS CONNECTION TO BUS

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 647

EXIST. SWITCHBOARD 69 'MDP'

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	3627
Scale	3/16" = 1'-0"
Drawing Title	ELECTRICAL PANEL SCHEDULES
Project Title	RENOVATE BUILDING 69
VA Project Number	542-CSI-203
Building Number	69
Location	1400 Black Horse Hill, Coatesville, PA
Drawing Number	E-602
Approved: Project Director	
Date	3/29/13
Checked	CGS/WCM
Drawn	KLC
Dwg.	79 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
	0.90	---	---		1		2	1P-20	0.36	---	---	RECPTS 1-603, 1-606
POOL RECIRC. PUMP PP-1	---	0.90	---	3P-15	3		4	1P-20	---	1.50	---	CHEMICAL CONTROLLER
	---	---	0.90		5		6	1P-20	---	---	1.20	UV CONTROL PANEL
	1.27	---	---		7		8	1P-20	0.70	---	---	POOL EVACUATOR FAN PF-1
POOL JET PUMP PP-2	---	1.27	---	3P-20	9		10	1P-20	---	0.72	---	RECPTS 1-603
	---	---	1.27		11		12	--	---	---	0.00	SPACE
E-STOP BUTTON FOR PUMPS	0.20	---	---	1P-20	13		14	--	0.00	---	---	SPACE
	---	0.55	---		15		16	--	---	0.00	---	SPACE
POOL MECHANICAL PUMP P-3	---	---	0.55	3P-20	17		18	--	---	---	0.00	SPACE
	0.55	---	---		19		20	--	0.00	---	---	SPACE
POOL MECHANICAL PUMP P-4	---	0.36	---	1P-20	21		22	--	---	0.00	---	SPACE
POOL RADIANT FLOOR PUMP P-5	---	---	0.36	1P-20	23		24	--	---	---	0.00	SPACE
69UH-1 UNIT HEATER	0.19	---	---	1P-20	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	31		32	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	3.11	3.08	3.08						1.06	2.22	1.20	SUB TOTAL
									4.17	5.30	4.28	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER (X) YES ( ) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING 225A
BUS RATING 400A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		0.36	0.72	0.00	<=10 KVA@100%	0.36	0.72	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	1.27	1.27	1.27	125%	1.59	1.59	1.59
	ALL OTHERS	2.35	3.31	3.01	100%	2.35	3.31	3.01
DEDICATED RECEPT		0.00	0.00	0.00	100%	0.00	0.00	0.00
FIX. ELEC. SPACE HEAT		0.19	0.00	0.00	100%	0.19	0.00	0.00
TOTAL KVA PER PHASE		4.17	5.30	4.28		4.49	5.62	4.60
TOTAL DEMAND AMPERES PER PHASE						37	47	38
PANEL / FEEDER (TOTAL KVA)								14.70

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 41

RELOCATED PANEL '69H'

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
SPACE	0.00	---	---	--	1		2	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	3		4	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	5		6	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	7		8	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	9		10	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	11		12	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	13		14	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	15		16	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	17		18	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	19		20	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	21		22	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	31		32	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	0.00	0.00	0.00						0.00	0.00	0.00	SUB TOTAL
									0.00	0.00	0.00	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER ( ) YES (X) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING MLO
BUS RATING 200A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		0.00	0.00	0.00	<=10 KVA@100%	0.00	0.00	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.00	0.00	0.00	125%	0.00	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		0.00	0.00	0.00	100%	0.00	0.00	0.00
TOTAL KVA PER PHASE		0.00	0.00	0.00		0.00	0.00	0.00
TOTAL DEMAND AMPERES PER PHASE						0	0	0
PANEL / FEEDER (TOTAL KVA)								0.00

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 0

EXISTING PANEL '69G'

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
RECPT 1-121,1-122A,1-223,1-133	1.08	---	---	1P-20	1		2	1P-20	1.20	---	---	J-BOX SOUND BOOTH
RECPT 1-401,1-402	---	1.08	---	1P-20	3		4	1P-20	---	1.20	---	J-BOX SOUND BOOTH
RECPT 388,1-403,1-404,1-416A	---	---	1.08	1P-20	5		6	1P-20	---	---	1.20	J-BOX SOUND BOOTH
RECPT 1-406 & TASK LTG	0.93	---	---	1P-20	7		8	1P-20	1.20	---	---	J-BOX SOUND BOOTH
J-BOX SOUND BOOTH	---	1.20	---	1P-20	9		10	1P-20	---	1.20	---	J-BOX SOUND BOOTH
J-BOX SOUND BOOTH	---	---	1.20	1P-20	11		12	1P-20	---	---	1.20	J-BOX SOUND BOOTH
RECPT 1-407 & TASK LTG	0.93	---	---	1P-20	13		14	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	2P-70	15		16	2P-30	---	0.00	---	SPARE
	---	---	0.00		17		18		---	---	0.00	
SPACE	0.00	---	---	--	19		20	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	21		22	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	31		32	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
EXISTING PANEL 'F'	5.92	---	---	3P-200				3P-200	0.00	---	---	EXISTING PANEL 'G'
	---	4.64	---						---	0.00	---	
	---	---	5.48						---	---	0.00	
SUB TOTAL	8.86	6.92	7.76						2.40	2.40	2.40	SUB TOTAL
									11.26	9.32	10.16	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER (X) YES ( ) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING MLO
BUS RATING 200A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.06	0.00	0.00	125%	0.08	0.00	0.00
GENERAL USE RECEPT		5.40	2.52	2.16	<=10 KVA@100%	3.33	3.33	3.33
					>10KVA@50%	1.04	-0.41	-0.59
MOTORS AND EQUIPMENT	LARGEST	1.20	1.20	1.20	125%	1.50	1.50	1.50
	ALL OTHERS	1.20	2.40	2.40	100%	1.20	2.40	2.40
DEDICATED RECEPT		3.40	3.20	4.40	100%	3.40	3.20	4.40
FIX. ELEC. SPACE HEAT		0.00	0.00	0.00	100%	0.00	0.00	0.00
TOTAL KVA PER PHASE		11.26	9.32	10.16		10.55	10.03	11.05
TOTAL DEMAND AMPERES PER PHASE						88	84	92
PANEL / FEEDER (TOTAL KVA)								31.62

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 88

EXISTING PANEL '69E'

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
LTS 1107-1119, 1129 & EF-3	2.81	---	---	1P-20	1		2	1P-20	2.42	---	---	LTS 1127,1128,1801-1805
LTS 1000,1101-1106,1204 & EF-2	---	2.50	---	1P-20	3		4	1P-20	---	1.69	---	LTS 1124-1126,1701-1703
LTS 1201-1203,1205,1301-1304	---	---	3.27	1P-20	5		6	1P-20	---	---	1.29	LTS 1601,1602,1604,1605
LTS 1100,130,132,133,135,136,1600	1.50	---	---	1P-20	7		8	1P-20	0.54	---	---	LTS EXTERIOR BOLLARDS
LTS 1121,1401-1411,1415-1416,EF-4	---	2.72	---	1P-20	9		10	1P-20	---	0.19	---	LTS EXTERIOR CANOPY
LTS 388,1412,1122,1123,1501-1503,EF-5	---	---	2.43	1P-20	11		12	1P-20	---	---	0.20	LIGHTING CONTACTOR
SPARE	0.00	---	---	1P-20	13		14	1P-20	0.56	---	---	LTS 1-606
SPARE	---	0.00	---	1P-20	15		16	1P-20	---	2.57	---	LTS 1-603
SPARE	---	---	0.00	1P-20	17		18	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	1P-20	19		20	1P-20	0.60	---	---	EXIST LTS TUNNEL
SPARE	---	0.00	---	1P-20	21		22	1P-20	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	23		24		---	---	0.00	
SPARE	0.00	---	---	1P-20	25		26	3P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	27		28		---	0.00	---	
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	31		32	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	4.32	5.22	5.70						4.11	4.45	1.49	SUB TOTAL
									8.43	9.67	7.19	TOTAL

C/B TEMP. 75 C. RATING 277 480 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER (X) YES ( ) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING 225A
BUS RATING 225A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		7.27	9.37	6.91	125%	9.09	11.71	8.64
GENERAL USE RECEPT		0.00	0.00	0.00	<=10 KVA@100%	0.00	0.00	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.02	0.11	0.20	125%	0.03	0.14	0.25
	ALL OTHERS	0.00	0.00	0.08	100%	0.00	0.00	0.08
DEDICATED RECEPT		0.00	0.00	0.00	100%	0.00	0.00	0.00
EXTERIOR LIGHTING		1.14	0.19	0.00	125%	1.42	0.24	0.00
TOTAL KVA PER PHASE		8.43	9.67	7.19		10.53	12.09	8.97
TOTAL DEMAND AMPERES PER PHASE						38	44	32
PANEL / FEEDER (TOTAL KVA)								31.59

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 38

EXISTING PANEL '69J'

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
EX. HEATER FAN S.S. OF MECH RM	1.50	---	---	1P-20	1		2	1P-20	1.08	---	---	EX. RECPT. W. WALL MECH RM
EX. FAN N.E. OF ELEC ROOM	---	1.50	---	1P-20	3		4	1P-20	---	0.90	---	EX. REC. MECH RM BACK HNYWELL
EX. HEATER FAN N.W. MECH RM.	---	---	1.50	1P-20	5		6	1P-20	---	---	1.08	EX. REC. MECH RM
	0.00	---	---		7		8	1P-20	0.90	---	---	EX. REC. S. WALL MECH RM
SPARE	---	0.00	---	3P-20	9		10	1P-20	---	1.08	---	EX. REC. MECH RM N WALL
	---	---	0.00		11		12	1P-20	---	---	0.90	EX. REC. ELEC. RM E WALL
	1.00	---	---		13		14	1P-20	0.20	---	---	EX. WATER SOFTNER TIME CLOCK
EX. LTG OUTSIDE BUILDING	---	1.00	---	3P-20	15		16	1P-20	---	0.25	---	EX. WATER PUMP SE MECH RM
	---	---	1.00		17		18	1P-20	---	---	0.20	EX. HONEYWELL CONTROL PANEL
EX. LTG OUTSIDE BUILDING	0.80	---	---	1P-20	19		20	2P-	1.50	---	---	EXIST. A/C 208V
EX. LTG OUTSIDE BUILDING	---	0.80	---	1P-20	21		22		---	1.50	---	
EX. LTG CRAWL SPACE	---	---	0.40	1P-20	23		24	2P-	---	---	1.50	EXIST. A/C 208V
EX. LTG CRAWL SPACE	0.40	---	---	1P-20	25		26		1.50	---	---	
EX. RECEPT CRAWL SPACE	---	0.72	---	1P-20	27		28	1P-20	---	0.00	---	SPARE
EX. LTG IN CRAWL SPACE SE ENT.	---	---	0.40	1P-20	29		30	1P-20	---	---	0.00	SPARE
	0.00	---	---	1P-20	31		32	1P-20	0.00	---	---	SPARE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	3.70	4.02	3.30						5.18	3.73	3.68	SUB TOTAL
									8.88	7.75	6.98	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER (X) YES ( ) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING 400A
BUS RATING 400A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.40	0.00	0.80	125%	0.50	0.00	1.00
GENERAL USE RECEPT		1.98	2.70	1.98	<=10 KVA@100%	1.98	2.70	1.98
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	1.50	1.50	1.50	125%	1.88	1.88	1.88
	ALL OTHERS	1.70	1.75	0.20	100%	1.70	1.75	0.20
DEDICATED RECEPT		0.00	0.00	0.00	100%	0.00	0.00	0.00
EXTERIOR LIGHTING		1.80	1.80	1.00	125%	2.25	2.25	1.25
FIX. ELEC. SPACE HEAT		1.50	0.00	1.50	100%	1.50	0.00	1.50
TOTAL KVA PER PHASE		8.88	7.75	6.98		9.81	8.58	7.81
TOTAL DEMAND AMPERES PER PHASE						82	71	65
PANEL / FEEDER (TOTAL KVA)								26.19

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 73

EXISTING PANEL '69I'

LOAD SERVED	KVA / Phase A	KVA / Phase B	KVA / Phase C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	KVA / Phase B	KVA / Phase C	LOAD SERVED
TREADMILL 1-501	1.00	---	---	1P-20	1		2	1P-20	0.90	---	---	RECPT 1-501,1-503
TREADMILL 1-501	---	1.00	---	1P-20	3		4	1P-20	---	1.00	---	WATER COOLER 1-501
TREADMILL 1-501	---	---	1.00	1P-20	5		6	1P-20	---	---	1.20	MICROWAVE 1-122
RECPT 1-501	0.54	---	---	1P-20	7		8	1P-20	1.20	---	---	REFRIGERATOR 1-122
RECPT 1-501	---	0.90	---	1P-20	9		10	1P-20	---	0.54	---	RECPT 1-122
WATER COOLER 1-501	---	---	1.00	1P-20	11		12	1P-20	---	---	1.08	RECPT 1-501
RECPT 1-501,1-502	1.08	---	---	1P-20	13		14	1P-20	1.20	---	---	MICROWAVE 1-503
SPACE	---	0.00	---	--	15		16	1P-20	---	1.20	---	REFRIGERATOR 1-503
SPACE	---	---	0.00	--	17		18	1P-20	---	---	1.20	COPIER/PRINTER 1-503
SPACE	0.00	---	---	--	19		20	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	21		22	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	31		32	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	33		34	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	35		36	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	37		38	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	39		40	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	41		42	--	---	---	0.00	SPACE
SUB TOTAL	2.62	1.90	2.00						3.30	2.74	3.48	SUB TOTAL
									5.92	4.64	5.48	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS ( ) YES (X) NO
MAIN CIRCUIT BREAKER ( ) YES (X) NO
SERVICE ENTR. RATED ( ) YES (X) NO
MINIMUM AIC (K AMPS)
MCB RATING MLO
BUS RATING 200A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	CONNECTED KVA B	CONNECTED KVA C	NEC DEM FACTOR	DEMAND KVA A	DEMAND KVA B	DEMAND KVA C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		2.52	1.44	1.08	<=10 KVA@100%	2.52	1.44	1.08
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.00	0.00	0.00	125%	0.00	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		3.40	3.20	4.40	100%	3.40	3.20	4.40
TOTAL KVA PER PHASE		5.92	4.64	5.48		5.92	4.64	5.48
TOTAL DEMAND AMPERES PER PHASE						49	39	46
PANEL / FEEDER (TOTAL KVA)								16.04

NOTE: ALL MOTOR CIRCUIT BREAKERS MUST BE HACR RATED.

(TOTAL KVA) X 1000 = TOTAL AMPS
VOLTS X 1.732 45

EXISTING PANEL '69F'

FULLY SPRINKLERED

ISSUED FOR BID

Revisions | Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	3/16" = 1'-0"

Drawing Title	ELECTRICAL PANEL SCHEDULES
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	3/29/13
Checked	CGS/WCM
Drawn	KLC
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	E-603
Dwg. 80 of 86	

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

LOAD SERVED	KVA / Phase A	B	C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	B	C	LOAD SERVED
EXISTING CONDENSATION PUMP GEN. ROOM	8.98	---	---	3P-110	1		2	1P-20	1.10	---	---	EXIST. REC. ELEC. RM & CIRC. PUMP EM
	---	8.98	---		3		4	1P-20	---	0.20	---	EXIST. EXIT SIGN MECH RM & REC.
	---	---	8.98		5		6	---	---	---	0.00	SPACE
EXISTING PANEL '69EA'	1.45	---	---	3P-100	7		8	3P-100	0.00	---	---	EXISTING GENERATOR PANEL
	---	1.26	---		9		10		---	0.00	---	
	---	---	1.28		11		12		---	---	0.00	
SUB TOTAL	10.43	10.24	10.26						1.10	0.20	0.00	SUB TOTAL
									11.53	10.44	10.26	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS [ ] YES [X] NO
MAIN CIRCUIT BREAKER [X] YES [ ] NO
SERVICE ENTR. RATED [ ] YES [X] NO
MINIMUM AIC (K AMPS)
MCB RATING 400A
BUS RATING 400A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	B	C	NEC DEM FACTOR	DEMAND KVA A	B	C
GENERAL LIGHTING		0.00	0.02	0.00	125%	0.00	0.03	0.00
GENERAL USE RECEPT		1.08	0.54	0.00	<=10 KVA@100%	1.08	0.54	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	8.98	8.98	8.98	125%	11.23	11.23	11.23
	ALL OTHERS	1.01	0.10	0.92	100%	1.01	0.10	0.92
DEDICATED RECEPT		0.36	0.00	0.36	100%	0.36	0.00	0.36
EXTERIOR LIGHTING		0.10	0.80	0.00	125%	0.13	1.00	0.00
TOTAL KVA PER PHASE		11.53	10.44	10.26		13.80	12.89	12.51
TOTAL DEMAND AMPERES PER PHASE						115	107	104
PANEL / FEEDER (TOTAL KVA)								39.20

EXISTING PANEL '69NE'

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 109

LOAD SERVED	KVA / Phase A	B	C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	B	C	LOAD SERVED
AUTOMATIC DR	0.20	---	---	1P-20	1		2	1P-20	0.25	---	---	PA SYSTEM HEAD UNIT
EXIST REC. IN ELEC. CLOSETS	---	0.36	---	1P-20	3		4	2P-20	---	0.00	---	SPARE
AUTOMATIC DR & CARD READER	---	---	0.50	1P-20	5		6		---	---	0.00	
SPARE	0.00	---	---	2P-15	7		8	1P-20	0.28	---	---	EX. REC UNDER PANEL&1OUTSIDE LT
	---	0.00	---		9		10	1P-20	---	0.80	---	EX. OUTSIDE LIGHTS
SPARE	---	---	0.00	2P-15	11		12	1P-20	---	---	0.42	AUTOMATIC FLUSH VALVE POWER
	0.00	---	---		13		14	1P-20	0.36	---	---	AUTOMATIC FLUSH VALVE POWER
SPARE	---	0.00	---	1P-20	15		16	3P-20	---	0.00	---	SPARE
NEW RECEPT IT 1-604A	---	---	0.36	1P-20	17		18		---	---	0.00	
NEW RECEPT IT 1-604A	0.36	---	---	1P-20	19		20		0.00	---	---	
EXIST. FAN COIL UNITS TELE ROOM	---	0.10	---	1P-20	21		22	1P-20	---	0.00	---	SPARE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SUB TOTAL	0.56	0.46	0.86						0.89	0.80	0.42	SUB TOTAL
									1.45	1.26	1.28	TOTAL

C/B TEMP. 75 C. RATING 120 208 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS [ ] YES [X] NO
MAIN CIRCUIT BREAKER [ ] YES [X] NO
SERVICE ENTR. RATED [ ] YES [X] NO
MINIMUM AIC (K AMPS)
MCB RATING MLO
BUS RATING 100A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	B	C	NEC DEM FACTOR	DEMAND KVA A	B	C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		0.18	0.36	0.00	<=10 KVA@100%	0.18	0.36	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.25	0.10	0.42	125%	0.31	0.13	0.53
	ALL OTHERS	0.56	0.00	0.50	100%	0.56	0.00	0.50
DEDICATED RECEPT		0.36	0.00	0.36	100%	0.36	0.00	0.36
EXTERIOR LIGHTING		0.10	0.80	0.00	125%	0.13	1.00	0.00
TOTAL KVA PER PHASE		1.45	1.26	1.28		1.54	1.49	1.39
TOTAL DEMAND AMPERES PER PHASE						13	12	12
PANEL / FEEDER (TOTAL KVA)								4.41

EXISTING PANEL '69EA'

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 12

LOAD SERVED	KVA / Phase A	B	C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	B	C	LOAD SERVED
EXISTING SUMP PUMP	4.20	---	---	3P-30	1		2	3P-30	0.00	---	---	SPARE
	---	4.20	---		3		4		---	0.00	---	
	---	---	4.20		5		6		---	---	0.00	
SPARE	0.00	---	---	3P-20	7		8	3P-20	0.00	---	---	SPARE
	---	0.00	---		9		10		---	0.00	---	
	---	---	0.00		11		12		---	---	0.00	
EXISTING PUMP HWP-1 *	2.10	---	---	3P-20	13		14	3P-20	1.33	---	---	NEW CWP-3 *
	---	2.10	---		15		16		---	1.33	---	
	---	---	2.10		17		18		---	---	1.33	
EXISTING 3HP HALLWAY UNIT HEATER HV-1	1.33	---	---	3P-20	19		20	3P-20	0.00	---	---	NEW CWP-4 *
	---	1.33	---		21		22		---	0.00	---	
	---	---	1.33		23		24		---	---	0.00	
NEW HWP-3 *	0.83	---	---	3P-20	25		26	3P-20	3.50	---	---	EXISTING AIR COMPRESSOR
	---	0.83	---		27		28		---	3.50	---	
	---	---	0.83		29		30		---	---	3.50	
NEW HWP-4 *	0.00	---	---	3P-20	31		32	3P-20	0.00	---	---	EXISTING PUMP HWP-2 *
	---	0.00	---		33		34		---	0.00	---	
	---	---	0.00		35		36		---	---	0.00	
SPACE	0.00	---	---	--	37		38	3P-20	0.00	---	---	SPARE
SPACE	---	0.00	---	--	39		40		---	0.00	---	
SPACE	---	---	0.00	--	41		42		---	---	0.00	
SPARE	0.00	---	---	3P-20	43		44	3P-20	3.05	---	---	EXISTING AHU MECH ROOM
	---	0.00	---		45		46		---	3.05	---	
	---	---	0.00		47		48		---	---	3.05	
SPARE	0.00	---	---	1P-20	49		50	1P-20	1.12	---	---	EXISTING LTS ELEC & MECH ROOM
SPARE	---	0.00	---	1P-20	51		52	1P-20	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	53		54	1P-20	---	---	0.00	SPARE
SPARE	0.00	---	---	1P-20	55		56	1P-20	0.00	---	---	SPARE
SPARE	---	0.00	---	1P-20	57		58	1P-20	---	0.00	---	SPARE
SPARE	---	---	0.00	1P-20	59		60	1P-20	---	---	0.00	SPARE
EXISTING TESTER OUTLET	12.00	---	---	3P-60	61		62	--	0.00	---	---	SPACE
	---	12.00	---		63		64	--	---	0.00	---	SPACE
	---	---	12.00		65		66	--	---	---	0.00	SPACE
EXISTING PUMP CHWP #1 *	3.10	---	---	3P-20	67		68	--	0.00	---	---	SPACE
	---	3.10	---		69		70	--	---	0.00	---	SPACE
	---	---	3.10		71		72	--	---	---	0.00	SPACE
EXISTING PUMP CHWP #2 *	0.00	---	---	3P-20	73		74	--	0.00	---	---	SPACE
	---	0.00	---		75		76	--	---	0.00	---	SPACE
	---	---	0.00		77		78	--	---	---	0.00	SPACE
EXISTING PANEL '69L'	3.03	---	---	3P-60	79		80	3P-60 **	11.97	---	---	NEW POOL DHU-1
	---	2.72	---		81		82		---	11.97	---	
	---	---	1.96		83		84		---	---	11.97	
SUB TOTAL	26.59	26.28	25.52						20.97	19.85	19.85	SUB TOTAL
									47.56	46.13	45.37	TOTAL

C/B TEMP. 75 C. RATING 277 480 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS [ ] YES [X] NO
MAIN CIRCUIT BREAKER [ ] YES [X] NO
SERVICE ENTR. RATED [ ] YES [X] NO
MINIMUM AIC (K AMPS) 14
MCB RATING MLO
BUS RATING 400A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	B	C	NEC DEM FACTOR	DEMAND KVA A	B	C
GENERAL LIGHTING		1.12	0.00	0.00	125%	1.40	0.00	0.00
GENERAL USE RECEPT		0.00	0.54	0.00	<=10 KVA@100%	0.00	0.54	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	11.97	11.97	11.97	125%	14.96	14.96	14.96
	ALL OTHERS	19.29	18.11	18.11	100%	19.29	18.11	18.11
FIX. ELEC. SPACE HEAT		3.19	3.51	3.29	100%	3.19	3.51	3.29
DEDICATED RECEPTACLES		12.00	12.00	12.00	100%	12.00	12.00	12.00
TOTAL KVA PER PHASE		47.56	46.13	45.37		50.83	49.12	48.36
TOTAL DEMAND AMPERES PER PHASE						184	177	175
PANEL / FEEDER (TOTAL KVA)								148.31

* - REDUNDANT LOADS, PUMPS SHALL NEVER RUN AT THE SAME TIME.
** - NEW CIRCUIT BREAKER

EXISTING PANEL '69K'

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 178

LOAD SERVED	KVA / Phase A	B	C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	B	C	LOAD SERVED
LTS EM *	0.00	---	---	1P-20	1		2	1P-20	1.35	---	---	LTS EMERGENCY/NIGHTLIGHTS
LTS EM *	---	0.00	---	1P-20	3		4	1P-20	---	0.00	---	BASEMENT EM LTS *
LTS EM 1603,1606 *	---	---	0.00	1P-20	5		6	1P-20	---	---	0.00	EXTERIOR CANOPY EM LTS *
SPACE	0.00	---	---	--	7		8	1P-20	0.20	---	---	FACP
SPACE	---	0.00	---	--	9		10	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	11		12	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	13		14	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	15		16	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	17		18	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	19		20	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	21		22	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SUB TOTAL	0.00	0.00	0.00						1.55	0.00	0.00	SUB TOTAL
									1.55	0.00	0.00	TOTAL

C/B TEMP. 75 C. RATING 277 480 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS [ ] YES [X] NO
MAIN CIRCUIT BREAKER [X] YES [ ] NO
SERVICE ENTR. RATED [ ] YES [X] NO
MINIMUM AIC (K AMPS)
MCB RATING 100A
BUS RATING 100A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	B	C	NEC DEM FACTOR	DEMAND KVA A	B	C
GENERAL LIGHTING		1.35	0.00	0.00	125%	1.69	0.00	0.00
GENERAL USE RECEPT		0.00	0.00	0.00	<=10 KVA@100%	0.00	0.00	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	0.20	0.00	0.00	125%	0.25	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
DEDICATED RECEPT		0.00	0.00	0.00	100%	0.00	0.00	0.00
TOTAL KVA PER PHASE		1.55	0.00	0.00		1.94	0.00	0.00
TOTAL DEMAND AMPERES PER PHASE						7	0	0
PANEL / FEEDER (TOTAL KVA)								1.94

* - CIRCUIT ONLY IN USE DURING AN EMERGENCY/POWER OUTAGE.

EXISTING PANEL '69EB'

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 2

LOAD SERVED	KVA / Phase A	B	C	CKT BRKR	CKT NO	NEUTRAL A B C	CKT NO	CKT BRKR	KVA / Phase A	B	C	LOAD SERVED
EXIST FAN COIL UNITS NW	1.22	---	---	1P-20	1		2	1P-20	0.64	---	---	EXIST FAN COIL UNITS NE
EXIST FAN COIL UNITS SW	---	0.88	---	1P-20	3		4	1P-20	---	1.29	---	EXIST FAN COIL UNITS N
EXIST FAN COIL UNITS SE	---	---	0.90	1P-20	5		6	1P-20	---	---	1.06	NEW & EXIST FAN COIL UNITS E
SPARE	0.00	---	---	1P-20	7		8	1P-20	1.18	---	---	NEW EF-1
SPARE	---	0.00	---	1P-20	9		10	1P-20	---	0.54	---	NEW ROOF TOP RECEPTACLES
SPACE	---	---	0.00	--	11		12	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	13		14	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	15		16	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	17		18	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	19		20	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	21		22	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	23		24	--	---	---	0.00	SPACE
SPACE	0.00	---	---	--	25		26	--	0.00	---	---	SPACE
SPACE	---	0.00	---	--	27		28	--	---	0.00	---	SPACE
SPACE	---	---	0.00	--	29		30	--	---	---	0.00	SPACE
SUB TOTAL	1.22	0.88	0.90						1.82	1.83	1.06	SUB TOTAL
									3.03	2.72	1.96	TOTAL

C/B TEMP. 75 C. RATING 277 480 V 3 PH 4 WIRE
MOUNTING SURFACE
ISOLATED GROUND BUS [ ] YES [X] NO
MAIN CIRCUIT BREAKER [ ] YES [X] NO
SERVICE ENTR. RATED [ ] YES [X] NO
MINIMUM AIC (K AMPS)
MCB RATING MLO
BUS RATING 100A
NEUTRAL RATING 100%

LOAD TYPE		CONNECTED KVA A	B	C	NEC DEM FACTOR	DEMAND KVA A	B	C
GENERAL LIGHTING		0.00	0.00	0.00	125%	0.00	0.00	0.00
GENERAL USE RECEPT		0.00	0.54	0.00	<=10 KVA@100%	0.00	0.54	0.00
					>10KVA@50%	0.00	0.00	0.00
MOTORS AND EQUIPMENT	LARGEST	1.18	0.00	0.00	125%	1.47	0.00	0.00
	ALL OTHERS	0.00	0.00	0.00	100%	0.00	0.00	0.00
FIX. ELEC. SPACE HEAT		1.86	2.18	1.96	100%	1.86	2.18	1.96
TOTAL KVA PER PHASE		3.03	2.72	1.96		3.33	2.72	1.96
TOTAL DEMAND AMPERES PER PHASE						12	10	7
PANEL / FEEDER (TOTAL KVA)								8.00

EXISTING PANEL '69L'

(TOTAL KVA) X 1000 / VOLTS X 1.732 = TOTAL AMPS = 10

FULLY SPRINKLERED
ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	WZG, STRUCTURAL CONSULTING ENGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	3/16" = 1'-0"

Drawing Title: ELECTRICAL PANEL SCHEDULES
Approved: Project Director
Project Title: RENOVATE BUILDING 69
Location: 1400 Black Horse Hill, Coatesville, PA
Date: 3/29/13 | Checked: CGS/WCM | Drawn: KLC
VA Project Number: 542-CSI-203
Building Number: 69
Drawing Number: E-604
Dwg. 81 of 86

Office of Facilities Management
Department of Veterans Affairs

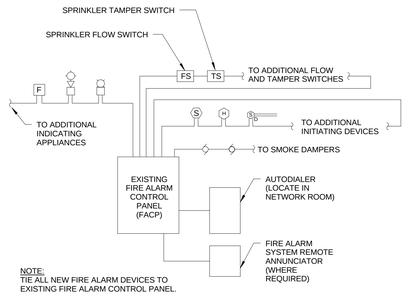
VA FORM 08-6231, OCT 1978

BASEMENT FIRE ALARM & LIFE SAFETY PLAN NOTES:

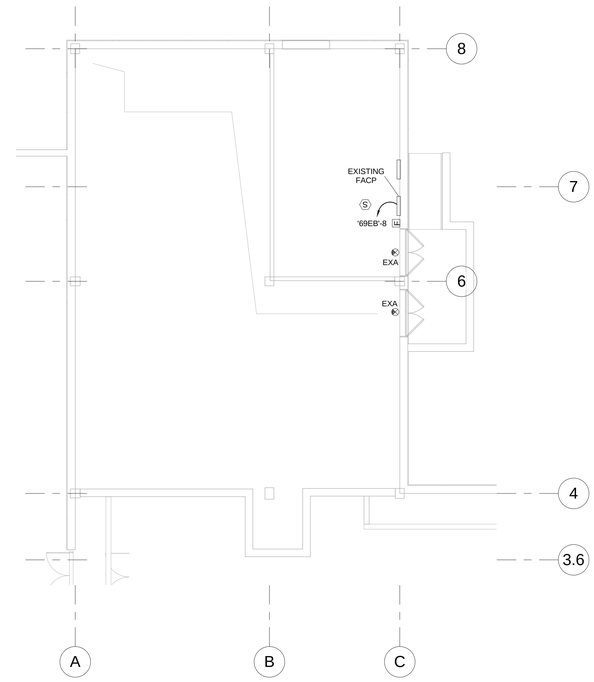
1. CIRCUIT ALL EXIT SIGNS ON EMERGENCY LIGHTING CIRCUIT SERVING THE SAME AREA AHEAD OF ANY SWITCHING.
2. A CORRIDOR, ROOM, OR ADJACENT SPACE WITH TWO OR MORE VISIBLE NOTIFICATION APPLIANCES WITHIN THE FIELD OF VIEW SHALL FLASH IN SYNCRONIZATION.
3. TIE ALL NEW FIRE ALARM DEVICES INTO EXISTING FIRE ALARM PANEL.

FIRE ALARM LEGEND

SYMBOL	DESCRIPTION
	FIRE ALARM HORN/STROBE LIGHT-WALL MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80" AND NOT GREATER THAN 96" AFF.
	FIRE ALARM STROBE LIGHT-WALL MOUNTED SUCH THAT THE ENTIRE LENS IS NOT LESS THAN 80" AND NOT GREATER THAN 96" AFF.
	FIRE ALARM STROBE LIGHT-CEILING MOUNTED SUCH THAT THE ENTIRE LENS IS NOT GREATER THAN 10'-0" AFF.
	FIRE ALARM HORN/STROBE LIGHT-CEILING MOUNTED SUCH THAT THE ENTIRE LENS IS NOT GREATER THAN 10'-0" AFF.
F	MANUAL FIRE ALARM PULL STATION TO BE LOCATED WITHIN 5'-0" OF THE EXIT DOORWAY OPENING. MIN. 42" AFF, MAX. 48" AFF.
FACP	FIRE ALARM CONTROL PANEL
FAA	FIRE ALARM ANNUNCIATOR
S	SMOKE DETECTOR
H	HEAT DETECTOR
SD	SMOKE DUCT DETECTOR
FS	FLOW SWITCH
TS	TAMPER SWITCH



2 FIRE ALARM RISER DETAIL
N.T.S.



1 BASEMENT FIRE ALARM & LIFE SAFETY PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER:

Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: BASEMENT FIRE ALARM AND LIFE SAFETY PLAN, FIRE ALARM RISER DETAIL AND LEGEND

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

Drawing Number: FA101

Dwg. 82 of 86

Office of Facilities Management

Department of Veterans Affairs

VA FORM 08-6231, OCT 1978

1ST FLOOR FIRE ALARM & LIFE SAFETY PLAN NOTES:

1. CIRCUIT ALL EMERGENCY/EXIT SIGNS ON EMERGENCY LIGHTING CIRCUIT SERVING THE SAME AREA, BUT AHEAD OF ANY SWITCHING.
2. A CORRIDOR, ROOM, OR ADJACENT SPACE WITH TWO OR MORE VISIBLE NOTIFICATION APPLIANCES WITHIN THE FIELD OF VIEW SHALL FLASH IN SYNCRONIZATION.
3. TIE ALL NEW FIRE ALARM DEVICES INTO EXISTING FIRE ALARM PANEL.
4. SEE 1/E-104 FOR EMERGENCY LIGHTING.
5. SEE E-001 FOR DEDUCT ALTERNATES.

1 1ST FLOOR FIRE ALARM & LIFE SAFETY PLAN
1/8" = 1'-0"

FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	WZG, STRUCTURAL CONSULTING ENGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC. 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	1/8" = 1'-0"

Drawing Title: 1ST FLOOR FIRE ALARM AND LIFE SAFETY PLAN

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
3/29/13	CGS/WCM	KLC

VA Project Number: 542-CSI-203

Building Number: 69

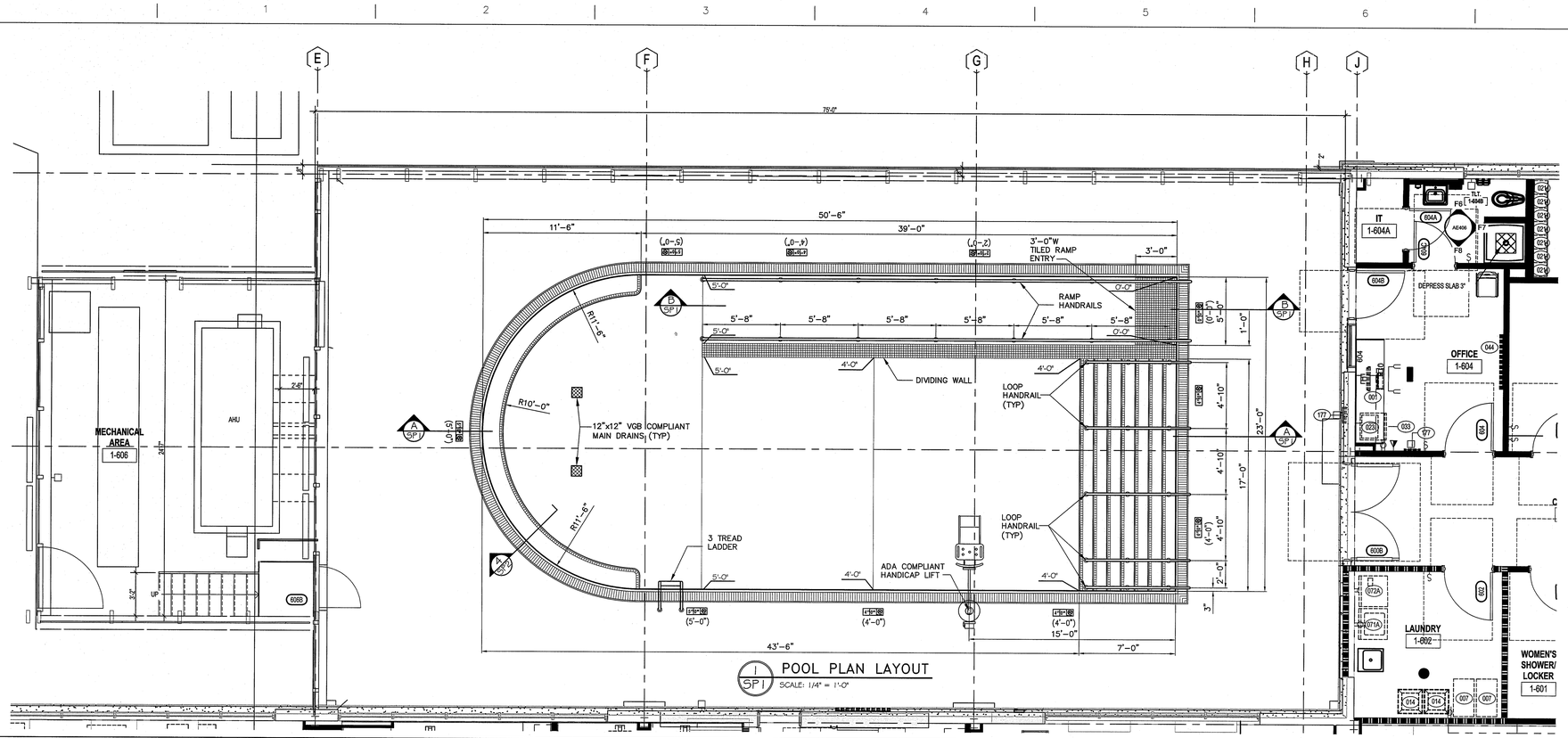
Drawing Number: FA102

Dwg. 83 of 86

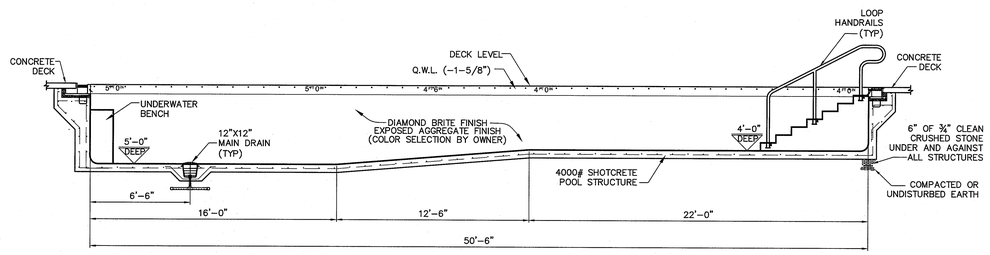
Office of Facilities Management

Department of Veterans Affairs

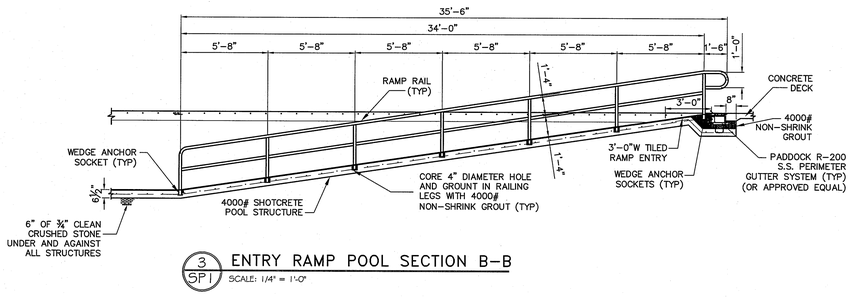
VA FORM 08-6231, OCT 1978



1 SP1 POOL PLAN LAYOUT
SCALE: 1/4" = 1'-0"



2 SP1 POOL SECTION A-A
SCALE: 1/4" = 1'-0"



3 SP1 ENTRY RAMP POOL SECTION B-B
SCALE: 1/4" = 1'-0"

POOL HYDRAULIC DATA

AREA	1106 SQ. FT.
PERIMETER	137'-2" LNFT
VOLUME	30,180 GAL.
TURNOVER	6.00 HRS.
FILTER AREA	7.06 SQ.FT.
RECIRC. RATE	84 GPM
APPL. RATE	11.90 GPM/SQ.FT.
BATHER LOAD	92 BATHERS

IN-POOL FIXTURES AND RECIRCULATION SYSTEMS - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	361'-0" LNFT	PADDOCK R200 W/ EVACUATOR	S.S. PERIMETER GUTTER W/ EVACUATOR	STAINLESS STEEL PERIMETER OVERFLOW GUTTER 1-5/8" DTW W/ EVACUATOR SYSTEM IN-POOL SURGE CAPACITY AND INTEGRAL RETURN TUBE.
2	101'-2" LNFT	PADDOCK R200	S.S. PERIMETER GUTTER	STAINLESS STEEL PERIMETER OVERFLOW GUTTER - 1-5/8" DTW - IN-POOL SURGE CAPACITY AND INTEGRAL RETURN TUBE.
3	2	LAWSON MLD-SGD-1212	MAIN DRAINS	V.G.B. COMPLIANT MAIN DRAINS - 12"X12" - 4" CONNECTIONS
4	9	HAYWARD SP-1430	HYDROTHERAPY JETS	HYDROTHERAPY JET FITTINGS
5	9	HAYWARD SP-1022	JET WALL FITTINGS	JET WALL FITTINGS - THREADED
6	9	PENTAIR SP-1419E	JET EYEBALL FITTINGS	JET EYEBALL FITTINGS - 1" ORIFICE

DECK AND RACING EQUIPMENT - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	21	S.R. SMITH 44-300	WEDGE ANCHORS	ANCHOR SOCKETS 1.9" BRONZE - LADDERS / HANDRAILS
2	21	S.R. SMITH 44-313	ESTCHUEONS	ESTCHUEONS - 1.9" - S.S. ROUND
3	1	S.R. SMITH LFB-24-3B	3-TREAD LADDER	3 TREAD LADDER - CROSS BRACED - 1.9" O.D. X .065" WALL
4	1	S.R. SMITH 390-0000	HANDICAP LIFT	SPLASH BATTERY OPERATED HANDICAP LIFT W/ ANCHOR - "CALIFORNIA PACKAGE"
5	5	S.R. SMITH LOOP RAIL	STEP HANDRAIL	LOOP HANDRAIL 1.9"O.D. x .065" WALL - 7'-6" OVERALL
6	2	S.R. SMITH RAMP RAIL	RAMP HANDRAIL	RAMP HANDRAIL 1.9"O.D. x .065" WALL - 35'-6" OVERALL

SWIMMING POOL TILE - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	AR	KEYSTONE SERIES	STEP/ BENCH ACUITY TILE	DAL-TILE KEYSTONE SERIES - 2"X2". PRICE GROUP 3 COLOR TO BE SELECTED BY OWNER / ARCHITECT
1	AR	KEYSTONE SERIES	RAMP ENTRY TILE	DAL-TILE KEYSTONE SERIES - 2"X2". PRICE GROUP 1 OR 2 COLOR TO BE SELECTED BY OWNER / ARCHITECT
3	AR	EDM-5R-6	INLAYS	DEPTH MARKERS 6" X 6" TILE - SKID RESISTANT
4	10	C621500	INLAYS	DEPTH MARKERS 6" X 6" TILE - INTERNATIONAL NO DIVE SYMBOL "NO DIVING" - SKID RESISTANT

MAINTENANCE EQUIPMENT - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	DESCRIPTION
1	1	RECREONICS 10-215	1-1/2"X18' - VACUUM HEAD - BENDERVAC
2	1	RECREONICS 10-414	HEAVY DUTY VACUUM HOSE 1-1/2" x 50'
3	3	RECREONICS 10-370	1-1/4" O.D. x 8' FIBERGLASS POLES PROVIDE ADAPTER (MODEL # 10-374)
4	1	RECREONICS 10-640	PORTABLE VACUUM SYSTEM PUMP/FILTER - 1.5 H.P. - 120V
5	1	PENTAIR R111342	24" STRAIGHT COMBINATION WALL BRUSH
6	1	PENTAIR R121026	COMMERCIAL SKIMMER NET HEAD
7	1	PENTAIR R191306	8'-16' TELESCOPING POLE
8	1	TAYLOR K-1741C	TEST KIT - PROFESSIONAL COMPLETE
9	2	RECREONICS 10-354	POLE WALL BRACKETS HOLDS TWO POLES

POOL SIGNS - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL
1	1	AQUATIC TECHNOLOGY PA2000WS1624E	PA PUBLIC POOL REGULATIONS
2	1	AQUATIC TECHNOLOGY 1001WS1824E	NO LIFEGUARD ON DUTY
3	1	AQUATIC TECHNOLOGY 7308WS1210E	POOL CLOSED

SAFETY EQUIPMENT - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	DESCRIPTION
1	1	RECREONICS 12-044	BULK FIRST AID KIT FOR UP TO 50 PEOPLE
2	1	RECREONICS 12-317	SPINEBOARD w/ STRAPS
3	1	RECREONICS 12-783	HEAD IMMOBILIZER
4	1	RECREONICS 12-448	FIRST AID WOOL BLANKET
5	1	RECREONICS 12-677	VINYL SAFETY APRON
6	1	RECREONICS 12-638	PROTECTIVE GOGGLES
7	1	RECREONICS 12-676	PVC SAFETY GLOVES
8	1	RECREONICS 12-252	24" LIFE RING BUOY - WHITE
9	1	RECREONICS 12-261	LIFE RING THROW LINE - 60FT
10	1	RECREONICS 12-257	4-1/4" LIFE RING BUOY HOLDER - S.S.
11	1	RECREONICS R221026	LIFE HOOK
12	1	PENTAIR LP16	LIFE HOOK POLE - 16FT

SWIMMING POOL FILTRATION EQUIPMENT - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	1	PENTAIR TR-140	HI-RATE SAND FILTER	HI-RATE SAND FILTER, TRITON II - 7.06 SQ FT FILTER AREA
2	1	PENTAIR 261050	MULTIPORT VALVE	MULTIPORT VALVE - HI-FLOW - 2IN CONNECTIONS
3	1	PENTAIR WTK-5	RECIRCULATION PUMP	PENTAIR WHISPERFLO PUMP - 2 H.P. - 84 GPM @ 65 TDH, 208-230/460V, 3 PH
4	1	PENTAIR WTK-12	JET PUMP	PENTAIR WHISPERFLO PUMP - 3 H.P. - 135 GPM @ 55 TDH, 208-230/460V, 3 PH
5	3	WIKA 9767053	PRESSURE GAUGE	2-1/2" DIA, 0-60 PSI, RANGE - LIQUID FILLED
6	2	WIKA 9767010	VACUUM GAUGE	2-1/2" DIA, 30"-0-30PSI RANGE - LIQUID FILLED
7	1	BLUE-WHITE RT-20058-GPM-1	DIGITAL FLOW METER	BLUE-WHITE - DIGITAL 2" FLOWMETER W/ READOUT
8	1	WARRICK/ ASCO	WATER LEVEL CONTROL SYSTEM	16VMC1A12101O-10 RELAY, 1 - 3G3B1 PROBE HOLDER, 3 - RX G4 ELECTRODES, 1-1" ASCO MODEL # 8221G005 5LOW CLOSING SOLENOID VALVE

SWIMMING POOL CHEMICAL FEED EQUIPMENT - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	1	HAYWARD CAT 2000	CHEMICAL CONTROLLER	AUTOMATED CHEMICAL CONTROLLER - PH , ORP, AND FLOW MONITORING - 120V
2	1	CHEMTAINER TC2036/A	CHLORINE BULK TANK	55 GALLON CHLORINE BULK TANK
3	1	STENNER 45M4	CHLORINE PUMP	PERISTALTIC CHEMICAL FEED PUMP, SINGLE HEAD FEEDER ADJUSTABLE FEED RATE
4	1	STENNER 45M4	ACID PUMP	PERISTALTIC CHEMICAL FEED PUMP, SINGLE HEAD FEEDER ADJUSTABLE FEED RATE
5	1	EMPEROR AQUATICS CLP4390AG-2PN	U.V. SYSTEM	EMPEROR AQUATICS SAFEGUARD LOW PRESSURE UV SYSTEM CLP AMALGAM SERIES - 120V, 1PH, 2" FLANGED CONNECTION

HEAT SYSTEMS - (BASIS OF DESIGN)

NO.	QTY.	CAT. NO.	LABEL	DESCRIPTION
1	1	BY OTHERS	POOL HEAT EXCHANGER	EQUIPMENT PROVIDED BY OTHERS. COORDINATE WITH M.C.
2	2	TRERICE IIA40650	IN-LINE THERMOMETER	9" THERMOMETER W/ 3.5" TEST WELL

NOT FOR CONSTRUCTION FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING	ARRAY HEALTHCARE FACILITIES SOLUTIONS	ZG, STRUCTURAL ONSULTING NGINEERS	APOGEE CONSULTING GROUP	GUIDON DESIGN	HARRINGTON GROUP	BRAY MOONEY CONSULTING	ATLANTIC AQUATIC ENGINEERING
410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-5599	180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: POOL LAYOUT, SECTIONS, AND EQUIPMENT LISTING

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	JDB	ML

VA Project Number: 542-CSI-203

Building Number: 69

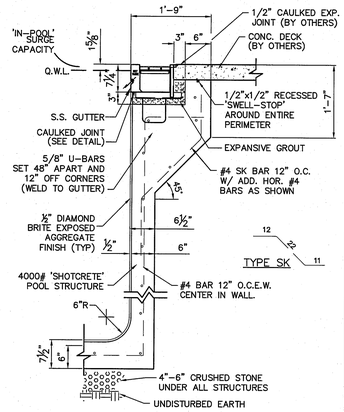
Drawing Number: SP1

Dwg. of

Office of Facilities Management

Department of Veterans Affairs

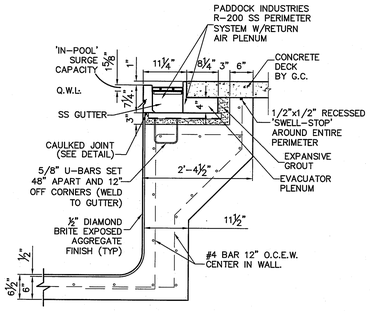
VA FORM 08-6231, OCT 1978



1 SP2 WALL SECTION DETAIL

SCALE: 3/4" = 1'-0"

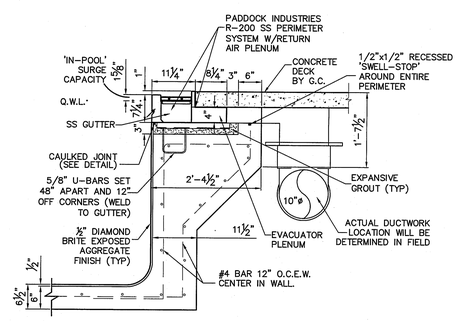
NOTES:
1. GUTTER GROUT SHALL BE 1 TO 3 MIX (#8 STONE WITH 1/2% (BY WEIGHT) EXPANDING/FLUIDIFYING AGENT 'SIKA INTRAPLAST-N'.



2 SP2 POOL WALL DETAIL @ EVACUATOR GUTTER

SCALE: 3/4" = 1'-0"

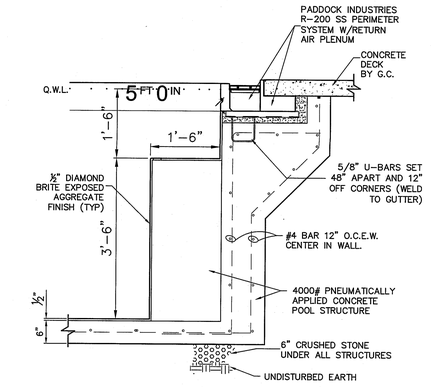
NOTE:
1. DESIGN BASED ON S.S.GUTTER R200 AND EVACUATOR (HVAC RETURN DUCT)



3 SP2 POOL WALL DETAIL @ EVACUATOR GUTTER CONVERTER

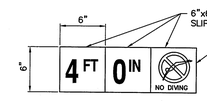
SCALE: 3/4" = 1'-0"

NOTE:
1. DESIGN BASED ON S.S.GUTTER R200 AND EVACUATOR (HVAC RETURN DUCT)



4 SP2 BENCH WALL SECTION DETAIL

SCALE: 3/4" = 1'-0"



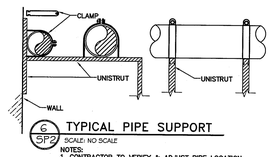
DEPTH MARKER SCHEDULE

QTY	MARKER
1	0'-0"
1	2'-0"
5	4'-0"
3	5'-0"
10	NO DIVING

5 SP2 TILE DEPTH MARKER

SCALE: 1-1/2"= 1'-0"

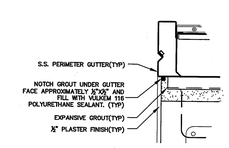
NOTES:
1. POOL CONTRACTOR TO PROVIDE TILES, GENERAL CONTRACTOR TO INSTALL TILES IN DECK.



6 SP2 TYPICAL PIPE SUPPORT

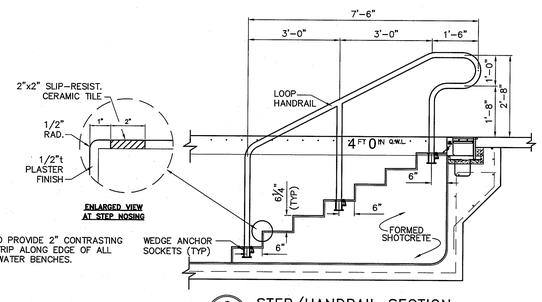
SCALE: NO SCALE

NOTES:
1. CONTRACTOR TO VERIFY & ADJUST PIPE LOCATION AND SUPPORTS BASED ON FIELD CONDITIONS
2. PIPE SUPPORTS SHALL BE GALVANIZED UNISTRUT WITH APPROPRIATE FITTINGS
3. CLEVIS HANGERS AND RISER CLUMPS MAY NOT BE USED



7 SP2 GUTTER CAULK JOINT DETAIL

SCALE: 1-1/2"= 1'-0"

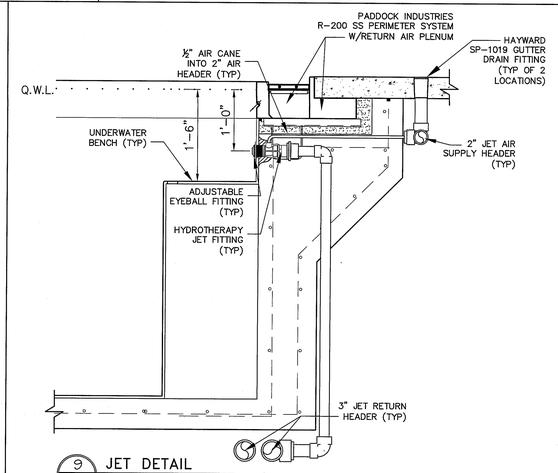


NOTES:
1. ALSO PROVIDE 2" CONTRASTING TILE STRIP ALONG EDGE OF ALL UNDERWATER BENCHES.

8 SP2 STEP/HANDRAIL SECTION

SCALE: 1/2" = 1'-0"

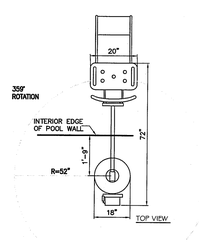
NOTES:
1. PROVIDE TWO (2) HANDRAILS
2. HANDRAIL TO BE 1.9"O.D.X.065" STAINLESS STEEL
3. CONNECT EACH ANCHOR TO POOL BOND LOOP
4. NOSING TILE TO BE A CONTRASTING COLOR FROM BACKGROUND.

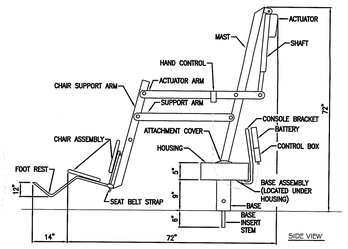


9 SP2 JET DETAIL

SCALE: 1" = 1'-0"

NOTES:
1. TERMINATE AIR HEADERS IN ABOVE Q.W.L AT GUTTER FITTINGS IN DECK. (TYP OF 2 LOCATIONS)



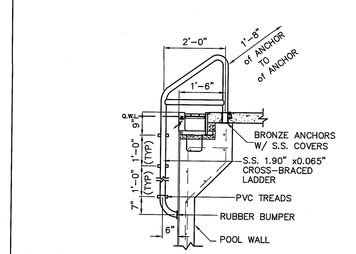


10 SP2 SPLASH SEMI-PORTABLE POOL LIFT

SCALE: 3/8" = 1'-0"

NOTES:
1. BATTERY OPERATED LIFT

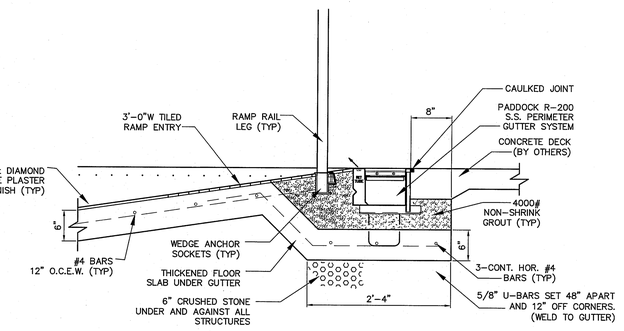
CODE COMPLIANCE - LIFT REQUIREMENTS:
1. THE LIFT IS TO BE LOCATED WHERE THE WATER LEVEL IN NOT DEEPER THAN 48-INCHES AND 16-INCHES FROM THE EDGE OF THE WATER IN THE RAISED POSITION.
2. THE SEAT IS TO BE A MINIMUM OF 16 INCHES WIDE, EQUIPPED WITH FOOTRESTS THAT MOVE TOGETHER, AND BE DESIGNED SO THAT THE SEAT WILL MAKE A STOP BETWEEN A MINIMUM OF 16-INCHES AND MAXIMUM OF 19-INCHES MEASURED FROM THE DECK TO THE TOP OF THE SEAT WHEN THE SEAT IS IN THE RAISED POSITION.
3. A CLEAR DECK SPACE, MEASURING 36-INCHES WIDE BY 48-INCHES FROM A LINE LOCATED 12-INCHES BEHIND THE REAR EDGE OF THE SEAT, BE ADJACENT TO THE LIFT WHEN IN THE RAISED POSITION.
4. THE LIFT SHOULD AFFORD UNASSISTED OPERATION FROM EITHER THE DECK OR WITHIN THE WATER.
5. THE LIFT SEAT SHOULD BE ABLE TO SUBMERGE TO A MINIMUM DEPTH OF 18-INCHES BELOW THE SANITARY WATER LEVEL.
6. THE LIFT SHOULD BE CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 300LBS. AND BE CAPABLE OF SUSTAINING A STATIC LOAD THAT IS AT LEAST 1.5 TIMES THE RATED LOAD.



11 SP2 CROSS-BRACED LADDER DETAIL

SCALE: 1/2" = 1'-0"

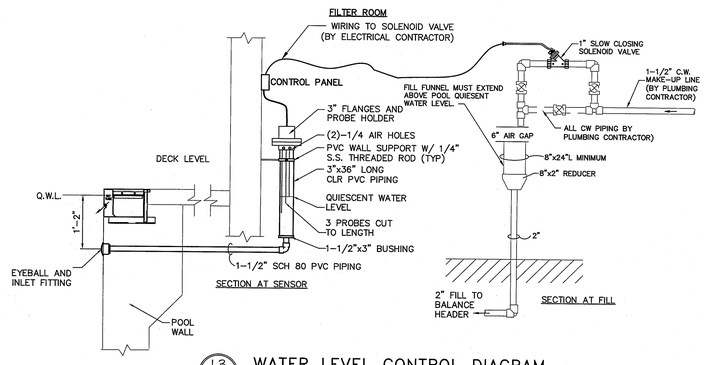
NOTES:
1. CONNECT EACH DECK ANCHOR TO POOL BOND LOOP



12 SP2 WALL DETAIL AT RAMP DEPTH ENTRY

SCALE: 1" = 1'-0"

NOTES:
1. GUTTER GROUT SHALL BE 1 TO 3 MIX (#8 STONE) WITH 1/2% (BY WEIGHT) EXPANDING/FLUIDIFYING AGENT 'SIKA INTRAPLAST-N'.



13 SP2 WATER LEVEL CONTROL DIAGRAM

SCALE: 3/4" = 1'-0"

NOTE:
1. WALL INLET SHALL BE MODEL SP-1419E AND SP-1022S FITTING BY HAYWARD POOL PRODUCTS OR EQUAL

NOT FOR CONSTRUCTION FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

CONSULTANTS:

Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ARRAY HEALTHCARE FACILITIES SOLUTIONS 2520 RENAISSANCE BLVD., SUITE 110 KING OF PRUSSIA, PA, 19406 Tel (610) 270-0599	ZG, STRUCTURAL ONSULTING NGINEERS 180 W. RIDGE PIKE LIMERICK, PA, 19468 Tel (214) 329-5559	APOGEE CONSULTING GROUP 7330 CHAPEL HILL ROAD, SUITE 202 RALEIGH, NC, 27606 Tel (919) 858-7420	GUIDON DESIGN 2453 N DELAWARE STREET INDIANAPOLIS, IN 46205 Tel (317) 800-6388	HARRINGTON GROUP 7508 E. INDEPENDENCE BLVD., SUITE 116 CHARLOTTE, NC, 28277 Tel (704) 531-9077	BRAY MOONEY CONSULTING 410 E. 21 STREET CHESTER, PA, 19013 Tel (610) 872-3716	ATLANTIC AQUATIC ENGINEERING 1823 DEEP RUN ROAD PIPERSVILLE, PA, 18947 Tel (215) 766-0409

PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title: POOL EQUIPMENT DETAILS

Approved: Project Director

Project Title: RENOVATE BUILDING 69

Location: 1400 Black Horse Hill, Coatesville, PA

Date	Checked	Drawn
03-29-13	JDB	ML

VA Project Number: 542-CSI-203

Building Number: 69

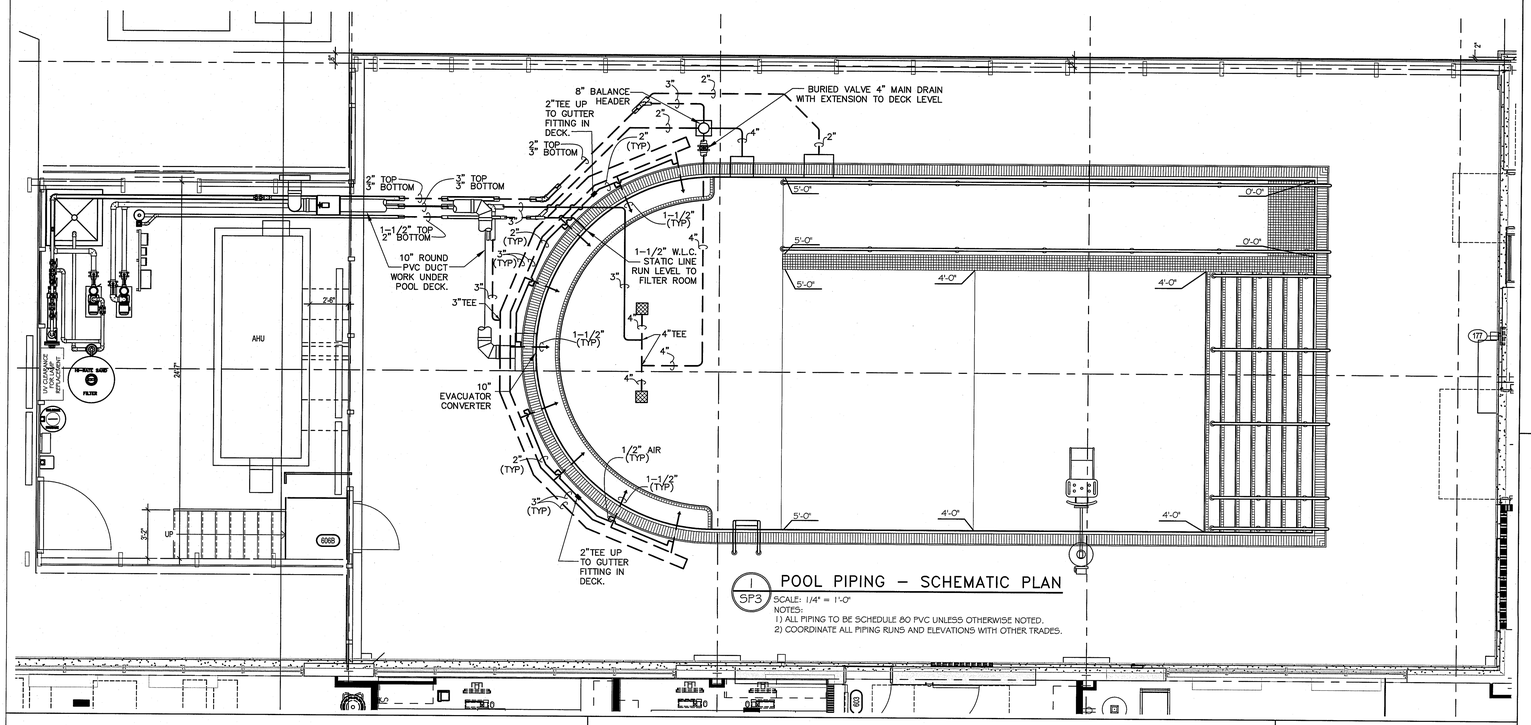
Drawing Number: SP2

Dwg. of

Office of Facilities Management

Department of Veterans Affairs

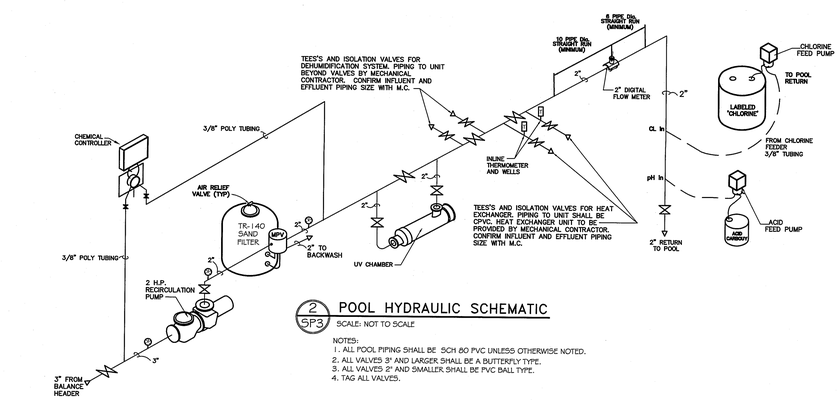
VA FORM 08-6231, OCT 1978



1 SP3 **POOL PIPING – SCHEMATIC PLAN**

SCALE: 1/4" = 1'-0"

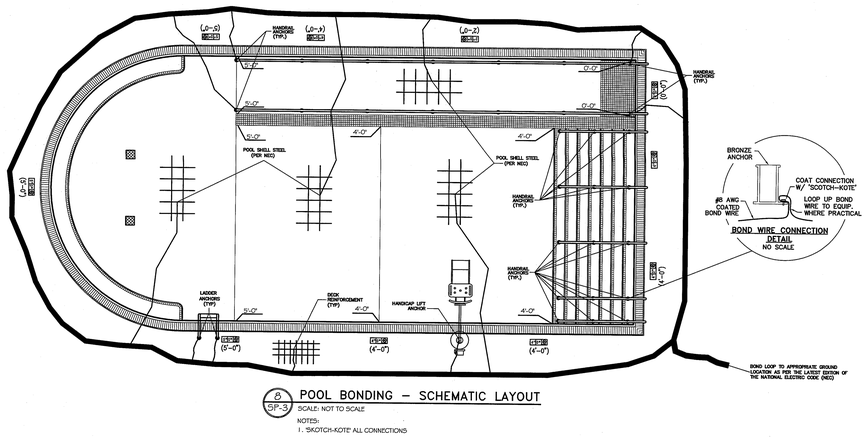
NOTES:
1) ALL PIPING TO BE SCHEDULE 80 PVC UNLESS OTHERWISE NOTED.
2) COORDINATE ALL PIPING RUNS AND ELEVATIONS WITH OTHER TRADES.



2 SP3 **POOL HYDRAULIC SCHEMATIC**

SCALE: NOT TO SCALE

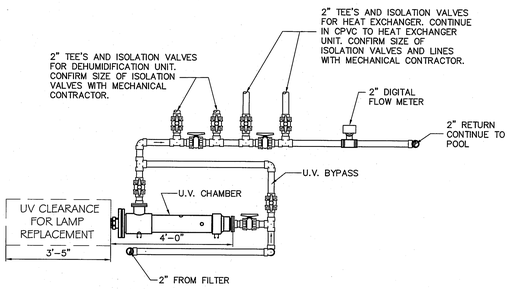
NOTES:
1. ALL POOL PIPING SHALL BE SCH 80 PVC UNLESS OTHERWISE NOTED.
2. ALL VALVES 3" AND LARGER SHALL BE A BUTTERFLY TYPE.
3. ALL VALVES 2" AND SMALLER SHALL BE PVC BALL TYPE.
4. TAG ALL VALVES.



8 SP-3 **POOL BONDING – SCHEMATIC LAYOUT**

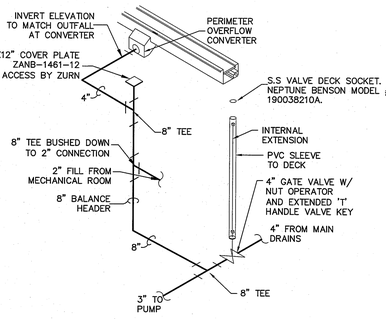
SCALE: NOT TO SCALE

NOTES:
1. 'SKOTCH-KOTE' ALL CONNECTIONS
2. ALL FERROUS AND CONDUCTIVE MATERIAL AROUND THE PERIMETER OF THE POOL SHALL BE PROPERLY BONDED IN ACCORDANCE WITH THE LASTEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC)
3. USE #8 COATED TAILS OFF BOND LOOP TO EQUIPMENT AND STEEL NOT IMMEDIATELY ADJACENT TO BOND LOOP BOND IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC)
4. PER 680.26(C) OF NEC 2008, THE TOTAL SURFACE AREA OF THE BONDED METAL PARTS FROM 680.26(B) INSTALLED IN CONTACT WITH THE WATER EXCEEDS 9 SQ IN.
5. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE ELECTRICAL DRAWINGS FOR ACTUAL REQUIREMENTS.



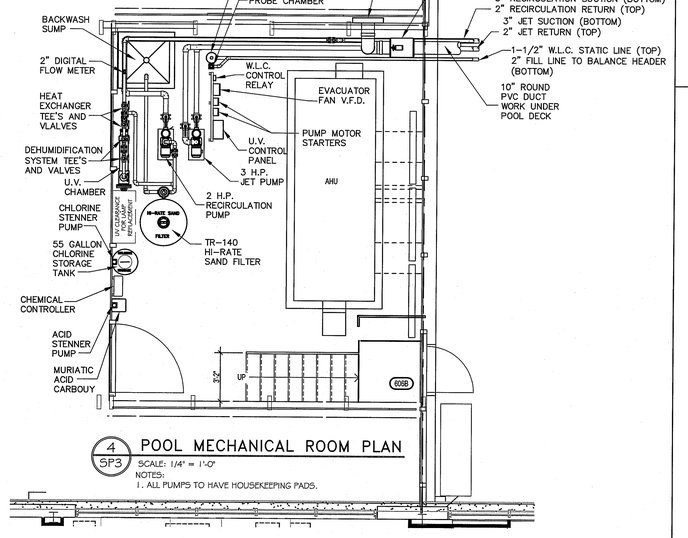
3 SP3 **U.V. / RETURN LINE DETAIL**

SCALE: 1/2" = 1'-0"



6 SP3 **BALANCE HEADER DETAIL**

SCALE: 3/4" = 1'-0"



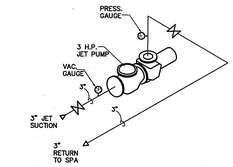
4 SP3 **POOL MECHANICAL ROOM PLAN**

SCALE: 1/4" = 1'-0"

NOTES:
1. ALL PUMPS TO HAVE HOUSEKEEPING PADS.

POOL HYDRAULIC DATA

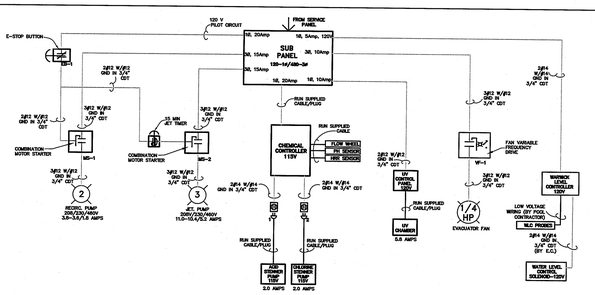
AREA	1106 SQ. FT.
PERIMETER	137'-2" LNFT
VOLUME	30,180 GAL.
TURNOVER	6.00 HRS.
FILTER AREA	7.06 SQ.FT.
RECIRC. RATE	84 GPM
APPL. RATE	11.90 GPM/SQ.FT.
BATHER LOAD	92 BATHERS



7 SP3 **SPA JET HYDRAULIC SCHEMATIC**

SCALE: NOT TO SCALE

NOTES:
1. ALL POOL PIPING SHALL BE SCH 80 PVC UNLESS OTHERWISE NOTED.
2. ALL VALVES 3" AND LARGER SHALL BE A BUTTERFLY TYPE.
3. ALL VALVES 2" AND SMALLER SHALL BE PVC BALL TYPE.
4. TAG ALL VALVES.



6 SP3 **FILTER ROOM ELECTRICAL DISTRIBUTION SCHEMATIC – POOL**

SCALE: NOT TO SCALE

NOTES:
1. ALL ELECTRICAL INSTALLATIONS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, ALL STATE AND LOCAL REQUIREMENTS AND ACCEPTED INDUSTRY STANDARDS FOR POOL CONSTRUCTION.
2. ALL PUMP MOTOR STARTERS SHALL BE CONTROLLED BY A 120V PILOT CIRCUIT THROUGH AN EMERGENCY STOP BUTTON.
3. GROUND FROUND ALL ELECTRICAL EQUIPMENT IN MECHANICAL ROOM AS REQUIRED BY THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC).
4. POOL RECIRCULATION PUMP MUST OPERATE 24/7 TO COMPLY WITH STATE HEALTH DEPARTMENT OPERATIONAL CODE. NO TIME SWITCH/CLOCK WILL CONTROL THESE PUMPS.
5. PANEL AND BREAKER SIZES SHOWN ON THIS DRAWING ARE SHOWN AS A RECOMMENDATION ONLY. REFER TO ELECTRICAL DRAWINGS FOR THE ACTUAL PANEL AND BREAKER SIZES TO BE PROVIDED.
6. ELECTRICAL INFORMATION SHOWN FOR COORDINATION PURPOSES ONLY. SEE ELECTRICAL DRAWINGS FOR ACTUAL REQUIREMENTS.

NOT FOR CONSTRUCTION FULLY SPRINKLERED

ISSUED FOR BID

Revisions	Date

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Project Manager	Architect	Structural Engineer	MEP/FP Engineer	Civil Engineer	Fire Protection Consultant	Cost Estimator	Aquatic Consultant
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PROJECT MANAGER: Bray Mooney Consulting

Project Number	Scale
3627	As indicated

Drawing Title	POOL PIPING SCHEMATIC LAYOUT AND MECHANICAL ROOM DETAILS
Approved: Project Director	
Project Title	RENOVATE BUILDING 69
Location	1400 Black Horse Hill, Coatesville, PA
Date	03-29-13
Checked	JDB
Drawn	ML
VA Project Number	542-CSI-203
Building Number	69
Drawing Number	SP3
Dwg. of	

Office of Facilities Management

Department of Veterans Affairs

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